

SHEET TITLE	DRAWING	SHEET NUMBER
LOCATION PLAN	C1.1	1
EXISTING CONDITION PLAN	C2.1	2
GRADING & DRAINAGE PLAN	C3.1	3
UTILITY PLAN	C4.1	4
SURVEY & LAYOUT PLAN	C5.1	5
PHOTOMETRIC PLAN	C6.1	6
LANDSCAPE PLAN	C7.1	7
CONSTRUCTION DETAILS PLAN	C8.1	8
CONSTRUCTION DETAILS PLAN	C8.2	9

ZONING DISTRICT: RESIDENTIAL A (RA)		
CATEGORY	REQUIRED / ALLOWED	PROVIDED
MINIMUM LOT AREA ¹	15000 ft ² / 10,000 ft ²	91,467 ft ²
MINIMUM LOT DEPTH	100 ft.	382 ± ft.
MINIMUM LOT FRONTAGE	125 ft.	252.0 ft.
MINIMUM FRONT SETBACK	20 ft.	68.9 ft.
MINIMUM SIDE SETBACK	15 ft.	16.5 ft.
MINIMUM REAR SETBACK	10 ft.	190 ± ft.
MAXIMUM LOT COVERAGE	--	--
MAXIMUM BUILDING COVERAGE	--	--
LANDSCAPED OPEN SPACE	2000 ft ²	52,000 ± ft ²
MAXIMUM BUILDING HEIGHT	35 ft.	< 35 ft.
MAXIMUM IMPERVIOUS AREA ²	40%	33%

1. FOR MULTIPLE-FAMILY UNITS OR APARTMENTS, 10,000 SQUARE FEET PER UNIT FOR FIRST TWO UNITS; 10,000 SQUARE FEET PER UNIT THEREAFTER. ALL THE REQUIRED AREA SHALL CONSIST OF CONTINUOUS BUILDING AREA (CBA) AS DEFINED IN § 165-7.
2. REQUIRES SPECIAL PERMIT IF GREATER THAN 40%.

OWNER:
ROCK POND DEVELOPMENT, LLC
499 EAST BROADWAY
HAVERHILL, MA 01830

APPLICANT:
ROCK POND DEVELOPMENT, LLC
499 EAST BROADWAY
HAVERHILL, MA 01830

PARCEL INFORMATION:
ADDRESS: 206 WEST MAIN STREET
GEORGETOWN, MA
ASSESSORS: MAP 6B LOT 53

DEED REFERENCES:
BOOK 30109 PAGE 300
RECORDED AT ESSEX SOUTH REGISTRY OF
DEEDS (ESRD)

GEORGETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

1. TOPOGRAPHIC INFORMATION SHOWN IS THE RESULT OF AN INSTRUMENT FIELD SURVEY CONDUCTED BY WILLIAMS & SPARGES, LLC ON MAY 24, 2023.
2. TOPOGRAPHIC INFORMATION SHOWN IS REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88).
3. PORTION OF PROPERTY LIES WITHIN A SPECIAL FLOOD HAZARD AREA (ZONE AE EL.=84.3) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25009C023P. EFFECTIVE DATE: JULY 3, 2012.
5. WETLANDS DELINEATED BY WILLIAMS & SPARGES, LLC ON MAY 17, 2021.
6. PORTION OF PROPERTY LIES WITHIN THE FLOODPLAIN DISTRICT.
7. PROPERTY LIES WITHIN THE WATER RESOURCE DISTRICT.
8. EXISTING UTILITIES SHOWN ARE THE RESULT OF AN ACTUAL INSTRUMENT SURVEY PERFORMED BY WILLIAMS & SPARGES LLC. NO REPRESENTATION OR WARRANTY IS MADE REGARDING THE ACCURACY OF THE LOCATION OR PRESENCE OF SUBSURFACE UTILITIES AND THOSE UTILITIES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
9. ALL UTILITIES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE IF EXISTING CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN THAT WILL PREVENT THE PROPOSED WORK FROM BEING COMPLETED AS INTENDED.
10. IF DURING CONSTRUCTION A CONFLICT SHOULD ARISE BETWEEN AN EXISTING UTILITY AND PROPOSED WORK THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IN WRITING FOR RESOLUTION OF THE CONFLICT.
11. CONTRACTOR SHALL PRIOR TO CONSTRUCTION (411), TO UPDATE TICKET AND/ OR VERIFY TICKET VALIDATION. DIGSAFE TICKET IS VALID 30 DAYS FROM THE DATE OF ISSUE. BEYOND THIS POINT, TICKETS ARE VALID INDEFINITELY, PROVIDED THAT 1) THE MARKS ARE MAINTAINED, AND 2) THE WORK IS CONTINUOUS.
12. THE PROPOSED WATER CONNECTION SIZE, TYPE & LOCATION ARE TO BE DESIGNED IN ACCORDANCE WITH 248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
13. ALL PROPOSED DRAIN PIPES ARE TO BE HDPE OR APPROVED EQUIVALENT UNLESS OTHERWISE SPECIFIED.
14. THE INSTALLATION OF DRAINAGE STRUCTURES, ESPECIALLY THE HDPE PIPE, SHALL ADHERE STRICTLY TO THE MANUFACTURERS INSTALLATION REQUIREMENTS TO MEET AASHTO LOADING REQUIREMENTS.
15. WHEREVER FEASIBLE, SEWERS WILL BE LAID AT A MINIMUM OF 10 FEET, HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER MAIN. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN THE SEWER MAIN WILL BE LAID IN A SEPARATE TRENCH AND THE ELEVATION OF THE CROWN OF THE SEWER PLACED AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. WHENEVER SEWERS MUST CROSS UNDER WATER MAINS THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE WATER MAIN. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND SEWER SHOULD BE ENCASED IN CONCRETE FOR 10 FEET EITHER SIDE OF THE CROSSING.
16. THE APPLICANT SHALL COORDINATE WITH THE PEABODY WATER DIVISION TO ENSURE PROPER DOMESTIC AND FIRE FLOWS PRIOR TO BUILDING PERMIT.
17. PROPOSED CATCH BASINS TO BE FITTED WITH SILT SACK OR APPROVED EQUAL WHEN INSTALLED AND REMOVED AFTER FINAL PAVEMENT COURSE IS LAID.
18. ALL PROPOSED ELECTRICAL CONNECTIONS SHALL BE UNDERGROUND.

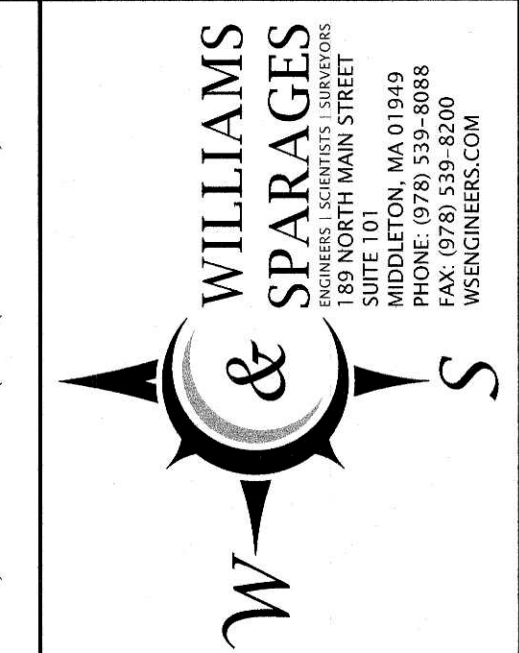
SITE PLAN SET
VILLAGE AT ROCK POND
206 WEST MAIN STREET
GEORGETOWN, MA 01833

BAILEY LANE
TAYLOR STREET
WEST MAIN STREET
LAKERIDGE DRIVE
LOCUS
300' FROM PROJECT BOUNDARY
ROCK POND
PENTUCKET POND OUTLET RESERVOIR

LAYOUT 2217

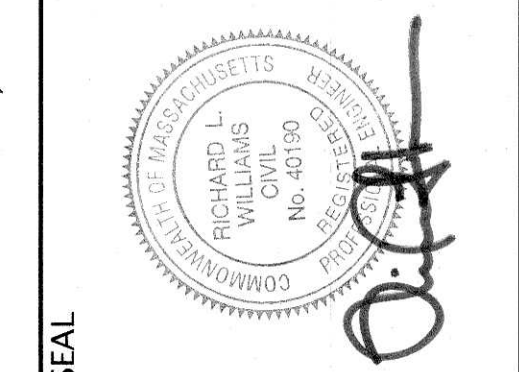
WILLIAMS & SPARAGES, LLC ON MAY 24, 2023.
(NAVD88).
FLOOD INSURANCE RATE MAP NUMBER 25009C023F,

WILLIAMS & SPARAGES LLC. NO REPRESENTATION OR
AND THOSE UTILITIES SHOWN SHOULD BE
ON AND SHALL NOTIFY THE OWNER'S
THE PROPOSED WORK FROM BEING COMPLETED
K THE CONTRACTOR SHALL NOTIFY THE OWNER'S
ET VALIDATION. DIGSAFE TICKET IS VALID 30
THE MARKS ARE MAINTAINED, AND 2) THE
248 CMR 10.00: UNIFORM STATE PLUMBING CODE.
THE MANUFACTURERS INSTALLATION
G OR PROPOSED WATER MAIN. SHOULD LOCAL
D IN A SEPARATE TRENCH AND THE ELEVATION
NEVER SEWERS MUST CROSS UNDER WATER MAINS,
S BELOW THE WATER MAIN. WHEN IT IS
MAIN AND SEWER SHOULD BE ENCASED IN
ND FIRE FLOWS PRIOR TO BUILDING PERMIT.
VED AFTER FINAL PAVEMENT COURSE IS LAID.



Owner:	Rock Pond Development, LLC 499 East Broadway Haverhill, MA 01830
Applicant:	Rock Pond Development, LLC 499 East Broadway Haverhill, MA 01830

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: GEOR-0058A
 Drawing File Folder: GEOR58



LOCATION PLAN
VILLAGE AT ROCK POND
206 WEST MAIN STREET, GEORGETOWN, MA

6				12
5				11
4				10
3				9
2				8
1				7

200' 200' 400'

SCALE: 1"=200'

JUNE 12, 2023

DRAWING: C1.1

SHEET 1 OF 9

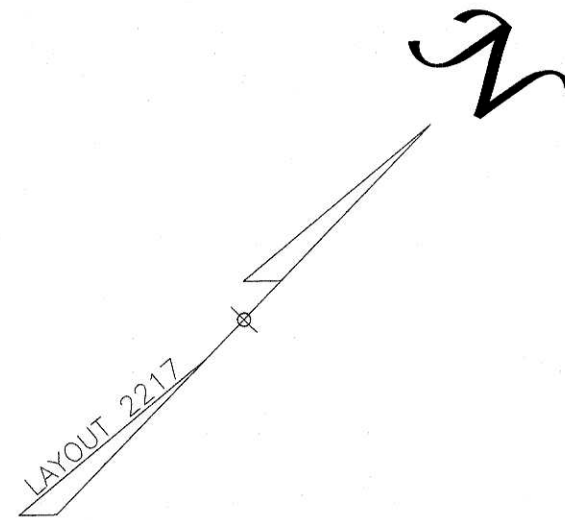
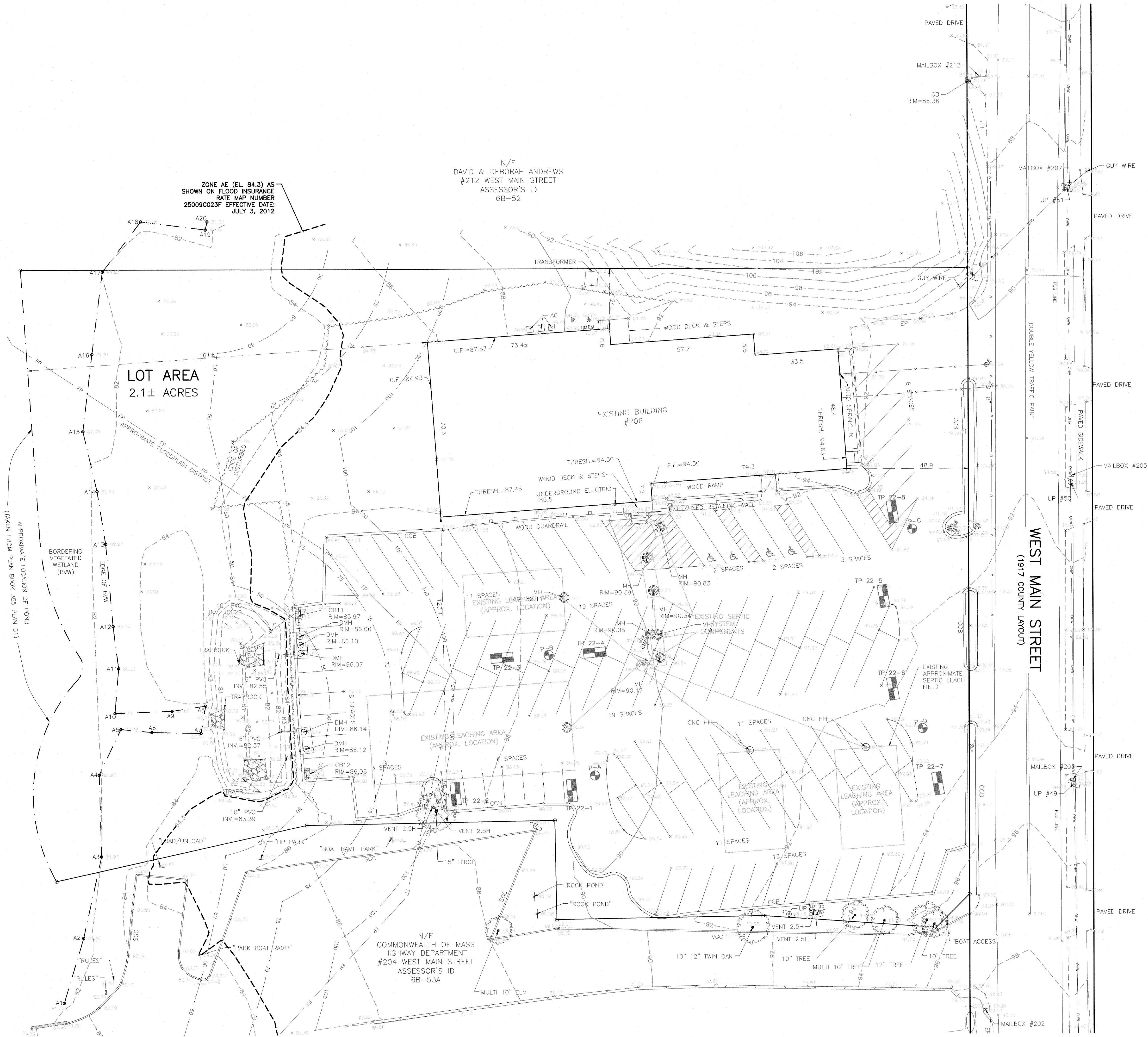
LEGEND OF ABBREVIATIONS & SYMBOLS

- EXISTING 2-FOOT CONTOUR ---108---
EXISTING 10-FOOT CONTOUR ---110---
EXISTING SPOT ELEVATION x 351.90
EDGE OF PAVEMENT ---FP---
SLOPED GRANITE CURB ---SGC---
VERTICAL GRANITE CURB ---VGC---
BITUMINOUS BERM ---BBIT---
RETAINING WALL ---
WOOD GUARDRAIL ---
STONE WALL ---
EDGE OF DISTURBED ---
CONCRETE HANDHOLE ---
MAILBOX ---
HYDRANT ---
WATER GATE ---
GAS METER ---GM---
ELECTRIC METER ---EM---
VENT ---
MANHOLE ---
CATCH BASIN ---
AIR CONDITIONER ---AC---
BOLLARD ---
LIGHT POLE ---
UTILITY POLE ---
DRAINAGE MANHOLE ---
SIGN ---
DECIDUOUS TREE ---
INVERT ---INV.---
THRESHOLD ---THRES.---
CELLAR FLOOR ---C.F.---
FIRST FLOOR ---F.F.---

GEORGETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

ROCK POND



EXISTING CONDITION PLAN
VILLAGE AT ROCK POND
206 WEST MAIN STREET, GEORGETOWN, MA

0' 10' 20' 40'
SCALE: 1"=20'

DRAWING: C2.1

SHEET 2 OF 9

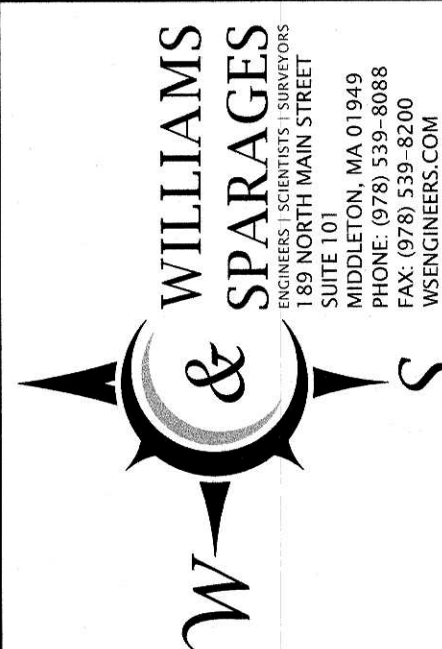
JUNE 12, 2023

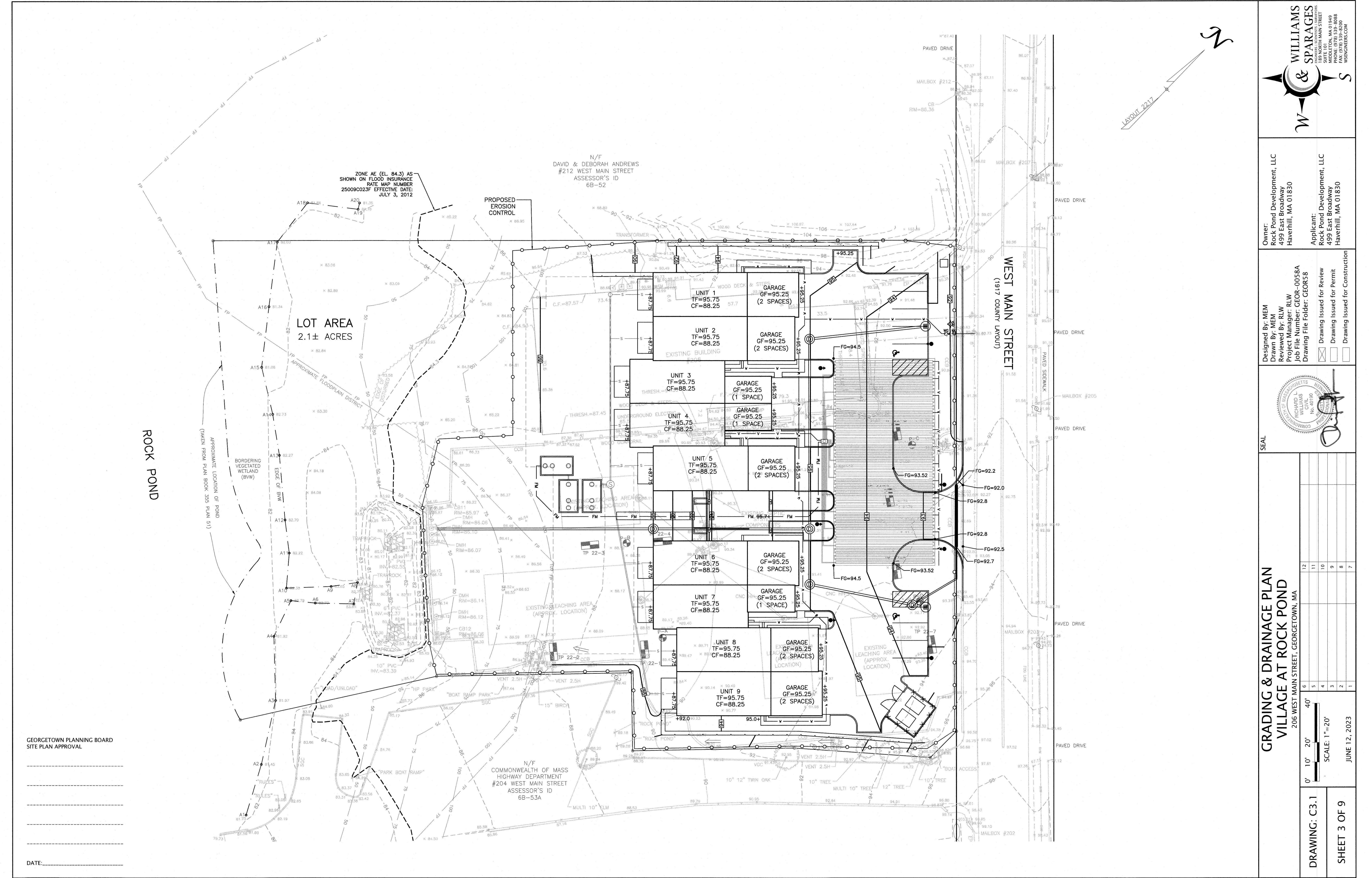


Designed By: MEM
Drawn By: MEM
Reviewed By: RLW
Project Manager: RLW
Job File Number: GEOR-0058A
Drawing File Folder: GEOR58

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499 East Broadway
Haverhill, MA 01830

Applicant:
Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830





GEORGETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

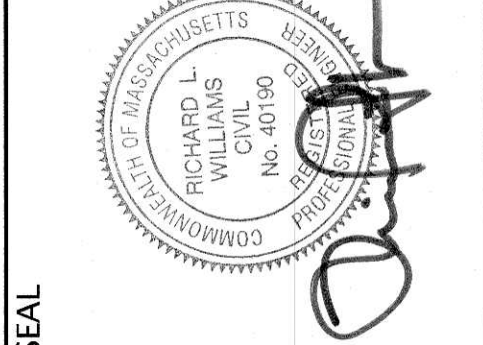


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Applicant:
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499 East Broadway
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Designed By: MEM
Drawn By: MEM
Reviewed By: RLW
Project Manager: RLW
Job File Number: GEOR-0058A
Drawing File Folder: GEOR38

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction



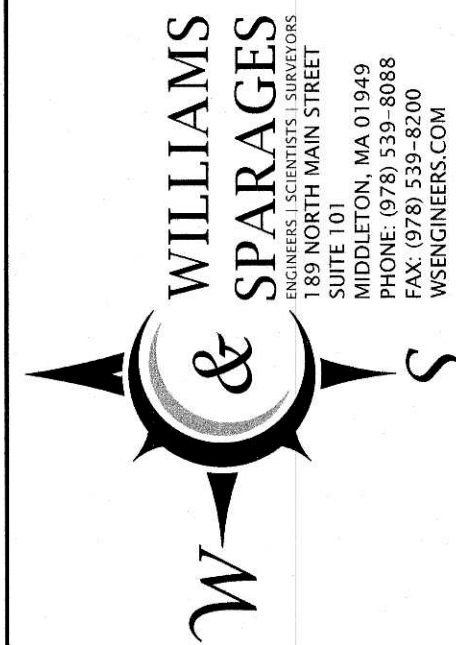
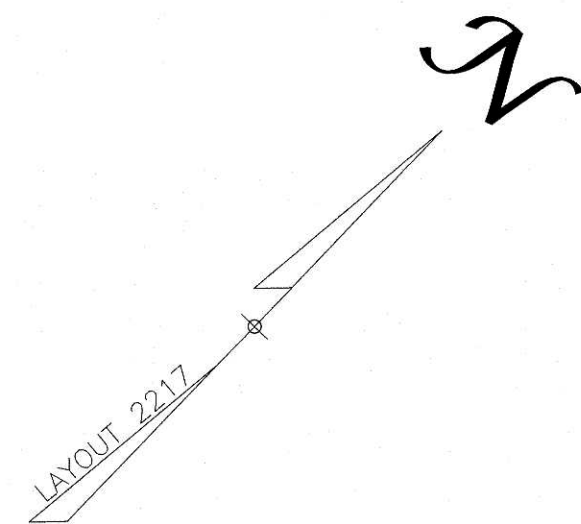
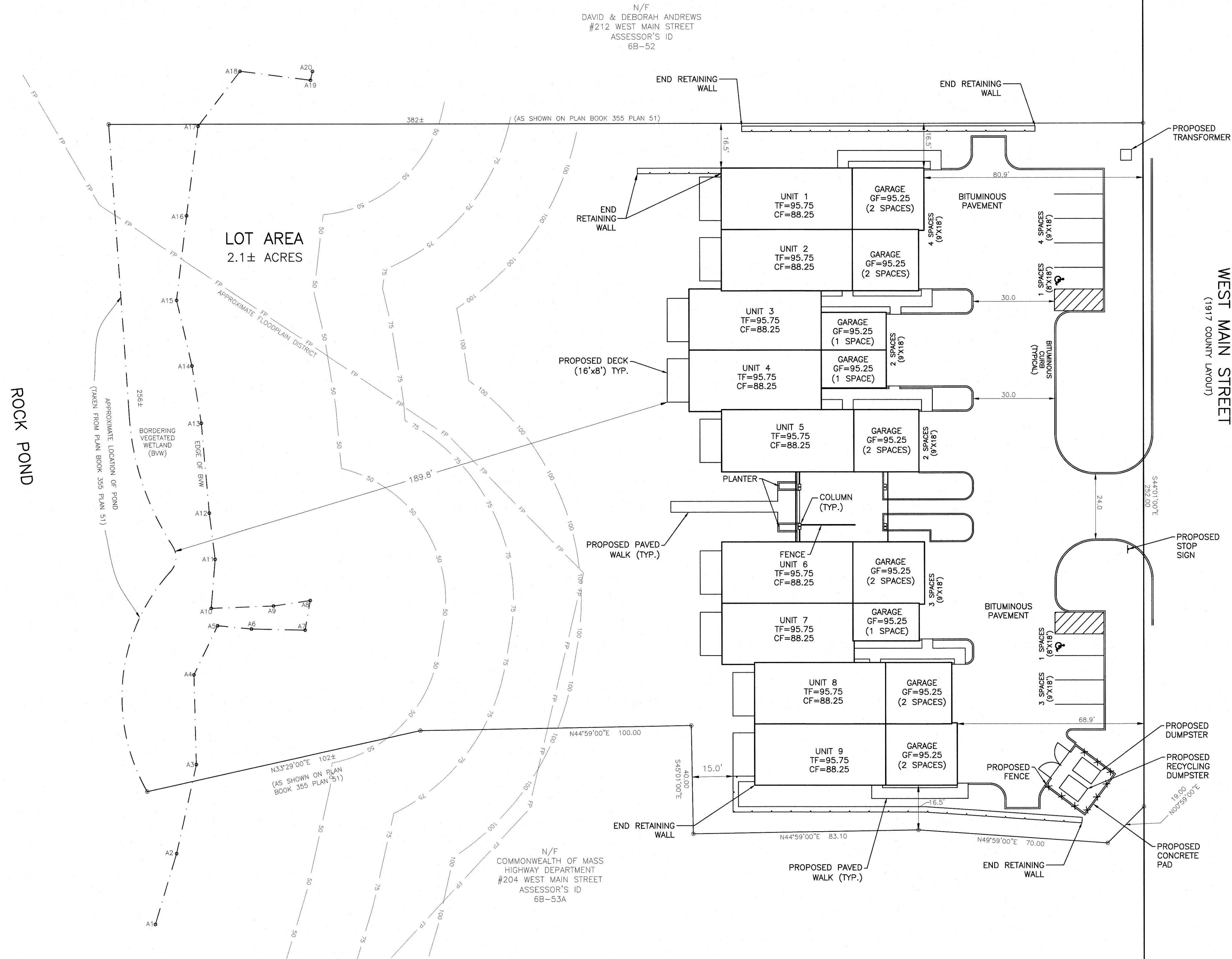
GRADING & DRAINAGE PLAN
VILLAGE AT ROCK POND
206 WEST MAIN STREET, GEORGETOWN, MA

12 11 10 9 8 7
6 5 4 3 2 1

0' 10' 20' 40'
SCALE: 1"=20'
JUNE 12, 2023

DRAWING: C3.1
SHEET 3 OF 9

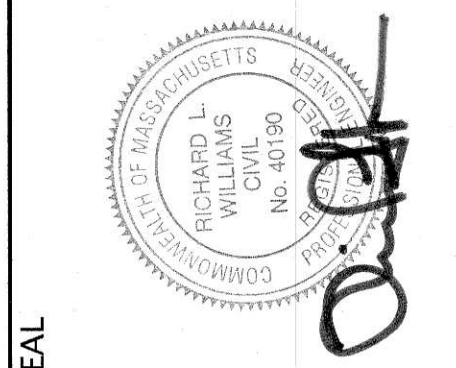
CATEGORY	REQUIRED	PROVIDED
RESIDENTIAL DWELLINGS: DETACHED, ATTACHED AND MULTI-FAMILY DWELLINGS SHALL PROVIDE TWO SPACES PER DWELLING UNIT	(2*9)=18	35
TOTAL	18	35
ACCESSIBILITY: 26-50	2	2



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Applicant:
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Haverhill, MA 01830

Designed By: MEM
 Drawn By: MEM
 Reviewed By: RLW
 Project Manager: RLW
 Job File Number: GEOR-0058A
 Drawing File Folder: GEOR58



**SURVEY & LAYOUT PLAN
VILLAGE AT ROCK POND**
206 WEST MAIN STREET, GEORGETOWN, MA

0' 20' 40'

SCALE: 1"=20'

JUNE 12, 2022

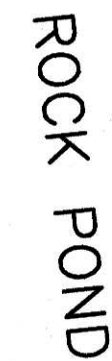
DRAWING: C5.1

SHEET 5 OF 9

SYMBOL	LABEL	QUANTITY	CATALOG NUMBER	DESCRIPTION	LAMP	TILT	LLF	CANDELA FILE
	A	7	UTLD TRADITIONAIRE UTLD-PA1-50-830-U (FINISH & ELECTRICAL TO BE SPECIFIED BY OTHERS)	TYPE 3 DISTRIBUTION 15' MOUNTING HEIGHT LAMP LUMENS=3941	LED 3000K	0°	0.85	UTLD-PA1-50-830-U.ies

AVERAGE FOOTCANDLES	0.6
MAXIMUM FOOTCANDLES	3.5
MINIMUM FOOTCANDLES	0.0

1. SECURITY LIGHTING TO BE DETERMINED.
2. ILLUMINANCE VALUES CREATED FROM MANUFACTURERS' PHOTOMETRIC DATA.
3. ILLUMINANCE VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL FOOTCANDLES AT GROUND LEVEL.
4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION, EXISTING LIGHT SOURCES, SLOPING GRADE OR EXISTING OR PROPOSED THREE DIMENSIONAL OBJECTS.
5. SEPTIC FIELD LOCATIONS TO BE VERIFIED IN FIELD AND LIGHT LOCATIONS TO BE ADJUSTED IF NEEDED.



DATE: _____



Applicant:
Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

☒	Drawing Issued for Review
☐	Drawing Issued for Permit
☐	Drawing Issued for Construction



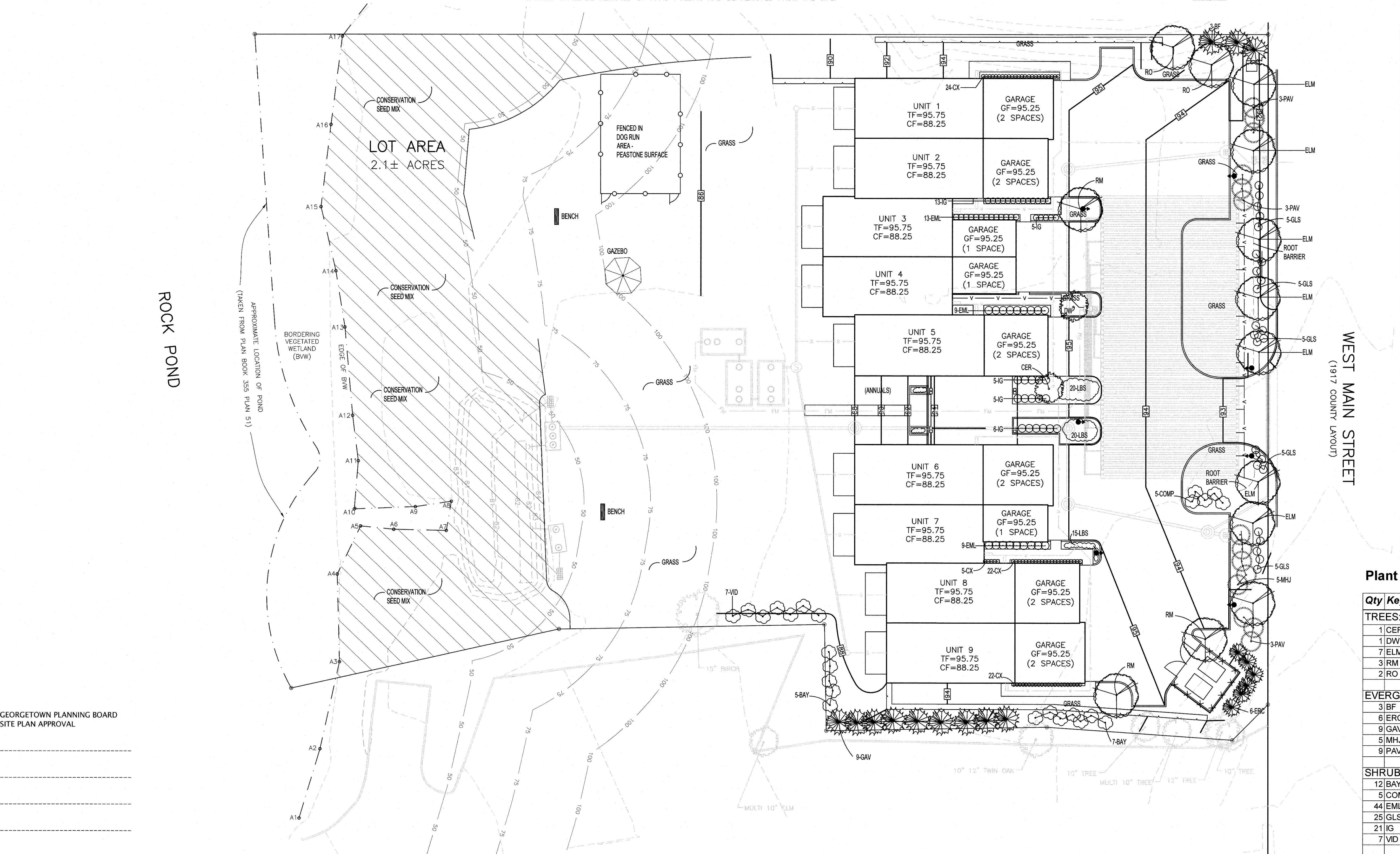
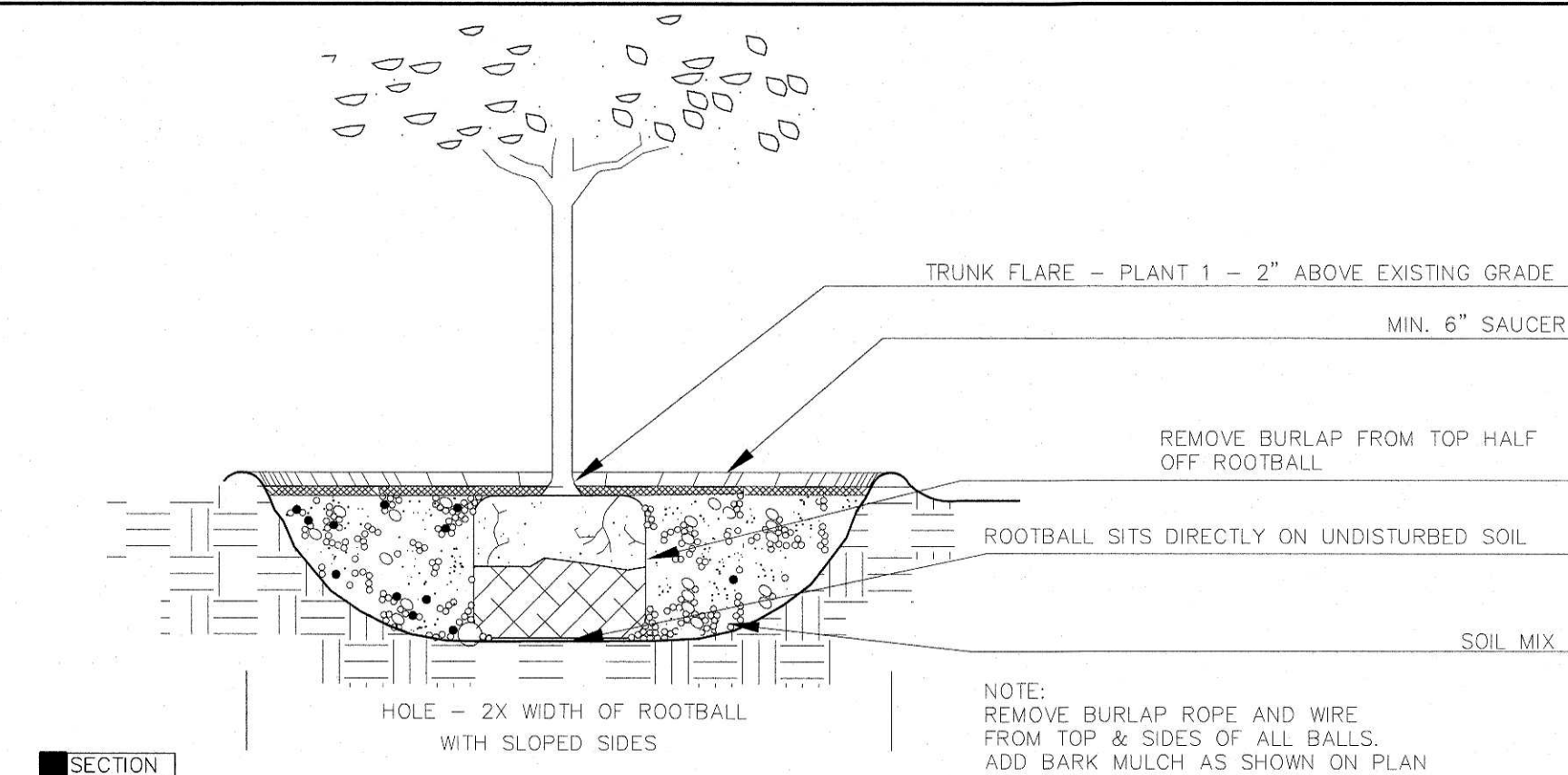
206 WEST MAIN STREET, GEORGETOWN, MA



SHEET 6 OF 9

JUNE 12, 2023

3 TREE PLANTING
SCALE: 1/2"=1'-0"

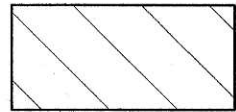


GEORGETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____

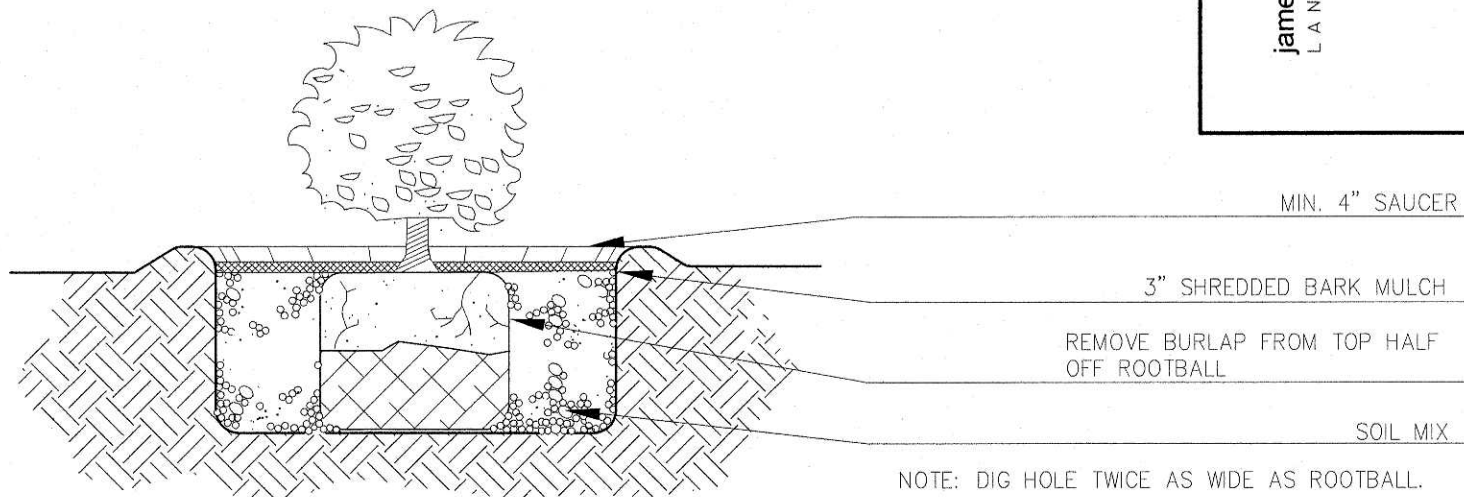
PROPOSED BUFFER ZONE ENHANCEMENT AREA CONSTRUCTION
METHODOLOGY

1. EROSION CONTROLS SHALL BE INSTALLED ALONG THE PROPOSED LIMIT OF WORK LINE AS SHOWN ON THE PERMIT SITE PLAN.
2. THE PAVEMENT AND SUB-BASE SHALL BE REMOVED FROM THE ENHANCEMENT AREA TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE PROPOSED FINISH GRADE UNDER THE DIRECTION OF A PROFESSIONAL WETLAND SCIENTIST OR CERTIFIED SOIL EVALUATOR. NOTE: IT MAY BE NECESSARY TO EXCAVATE TO A DEEPER DEPTH TO INSURE THAT AN APPROPRIATE PLANTING MEDIUM IS INSTALLED.
3. SOIL AMENDMENTS SHALL BE ADDED TO THE ENHANCEMENT AREA. A MIXTURE OF EQUAL VOLUMES OF ORGANIC AND MINERAL MATERIALS SHALL BE DEPOSITED INTO THE ENHANCEMENT AREA UNTIL THE PROPOSED FINISH GRADE IS ACHIEVED. THE SOIL AMENDMENTS SHALL BE UNCONTAMINATED AND SHOULD NOT INCLUDE ANY WOOD-CHIPS. CLEAN LEAF COMPOST IS THE PREFERRED SOIL AMENDMENT TO ACHIEVE THIS STANDARD. MINERAL MATERIALS SHOULD BE PREDOMINANTLY IN THE LOAM, LOAMY SAND TO SILT LOAM TEXTURE RANGE, WITH MINIMAL QUANTITIES OF GRAVEL OR ROCK. TO INSURE AN APPROPRIATE PLANTING MEDIUM IS ACHIEVED, THIS WORK SHALL BE DONE UNDER THE DIRECTION OF A PROFESSIONAL WETLAND SCIENTIST OR CERTIFIED SOIL EVALUATOR.
4. ONCE AN APPROPRIATE PLANTING MEDIUM IS ACHIEVED, THE AREA SHALL BE PLANTED WITH THE SPECIES SPECIFIED USING HAND TOOLS UNDER THE DIRECTION OF A PROFESSIONAL WETLAND SCIENTIST. SPECIES SHALL BE ACQUIRED FROM A NURSERY SPECIALIZING IN THE PROPAGATION OF NATIVE PLANTS.
5. FOLLOWING THE PLANTING EFFORT THE AREA SHALL BE SCARIFIED USING A STEEL RAKE AND THEN SEEDED WITH THE SPECIFIED SEED MIX AT THE SPECIFIED APPLICATION RATE. NOTE: THE RECOMMENDED APPLICATION RATE HAS BEEN DOUBLED TO ACHIEVE PROPER COVERAGE AND STABILIZATION.
6. FOLLOWING THE PLANTING EFFORT, AT LEAST 75% OF THE SURFACE OF THE REPLACEMENT AREA MUST BE RE-ESTABLISHED WITH INDIGENOUS PLANT SPECIES WITHIN TWO (2) GROWING SEASONS. MONITORING WILL OCCUR DURING THIS PERIOD AND SPECIES SHALL BE REPLACED UNDER THE DIRECTION OF A PROFESSIONAL WETLAND SCIENTIST UNTIL AT LEAST 75% COVERAGE IS ACHIEVED. IF AT THE END OF THE SECOND COMPLETE GROWING SEASON PROPER COVERAGE IS NOT ACHIEVED, MONITORING SHALL CONTINUE UNTIL PROPER COVERAGE IS ACHIEVED. DURING THE MONITORING PERIOD INVASIVE SPECIES SHALL BE REMOVED BY HAND PULLING AND BE REMOVED FROM THE SITE.



CONSERVATION SEED MIX:
NEW ENGLAND CONSERVATION/WILDLIFE MIX
APPLICATION RATE: 875 sq. ft./lb.
(NOTE: APPLICATION RATE DOUBLED)

2 SHRUB PLANTING
SCALE: 1/2"=1'-0"



Plant Schedule

Qty	Key	Botanical Name	Common Name	Size
TREES:				
1	CER	Cercis canadensis	Eastern Redbud	2-2.5' cal
1	DW	Cornus florida	White Dogwood	2-2.5' cal
7	ELM	Ulmus americana 'Princeton'	Princeton Elm	2.5-3' cal
3	RM	Acer rubrum 'Red Sunset'	Red Sunset Maple	2.5-3' cal
2	RO	Quercus rubra	Red Oak	2.5-3' cal
EVERGREENS:				
3	BF	Abies balsamea	Balsalm Fir	7-8'
6	ERC	Juniperus virginiana	Eastern Red Cedar	6-7'
9	GAV	Thuja x plicata 'Green Giant'	Green Giant Arborvitae	7-8'
5	MHJ	Juniperus virginiana 'Manhattan'	Manhattan Juniper	6-7'
9	PAV	Thuja occidentalis 'Pyramidalis'	Pyramidal Arborvitae	6-7'
SHRUBS:				
12	BAY	Myrica pensylvanicum	Northern Bayberry	#3pot
5	COMP	Comptonia peregrina	Sweetfern	#3pot
44	EML	Kalmia angustifolia	Sheepl Laurel	#3pot
25	GLS	Rhus aromatica Gro-Low	Gro-Low Sumac	#3pot
21	IG	Ilex glabra 'Shamrock'	Shamrock Inkberry	#3pot
7	VID	Viburnum dentatum	Arrowwood	3-4'
GRASSES:				
73	CX	Carex pensylvanica	Pennsylvania Sedge	#1pot
55	LBS	Schizachyrium scoparium	Little Bluestem	#1pot

LANDSCAPE PLAN
VILLAGE AT ROCK POND
206 WEST MAIN STREET, GEORGETOWN, MA

SCALE: 1"=20'

DRAWING: C7.1

SHEET 7 OF 9

Owner: Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

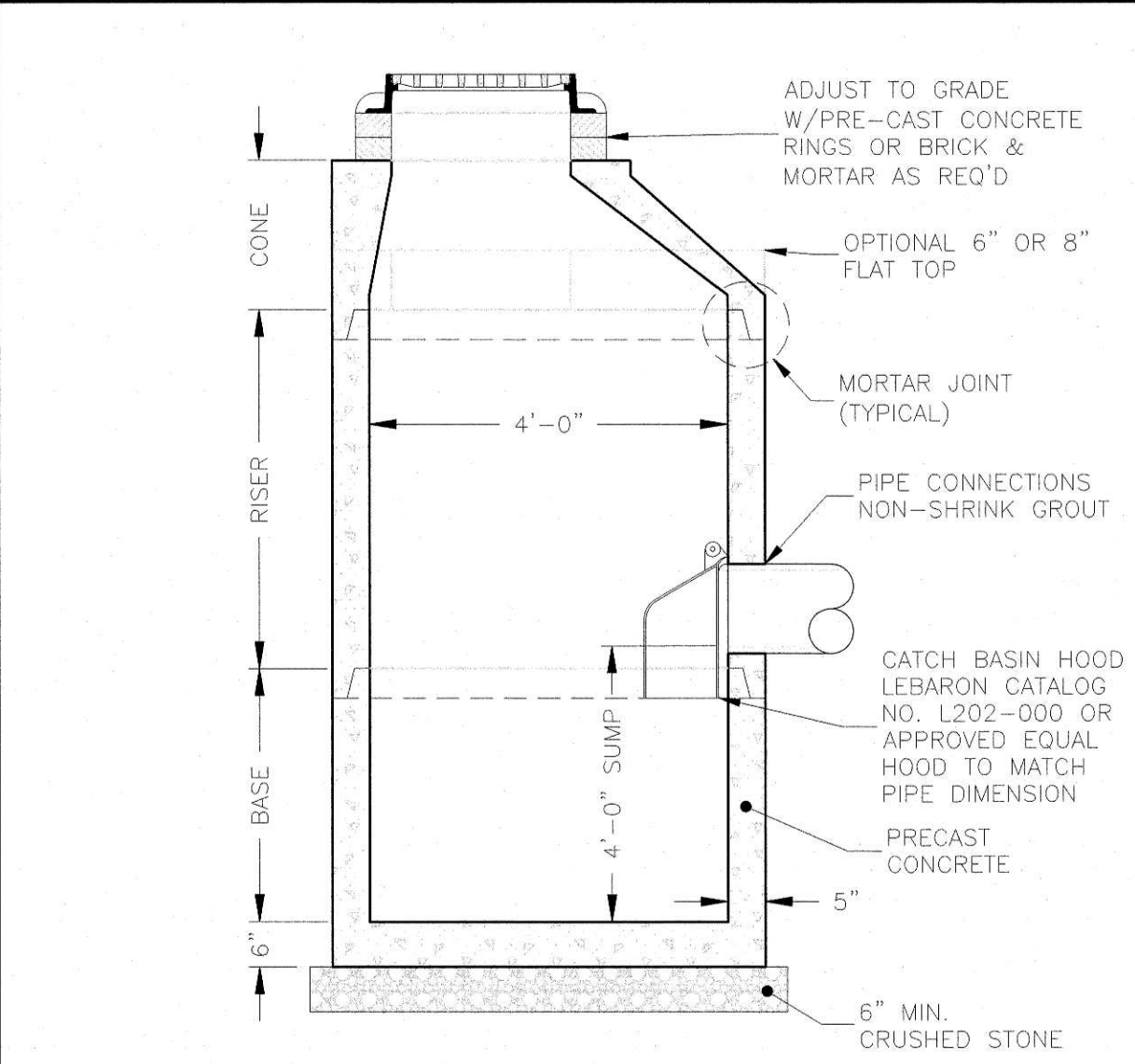
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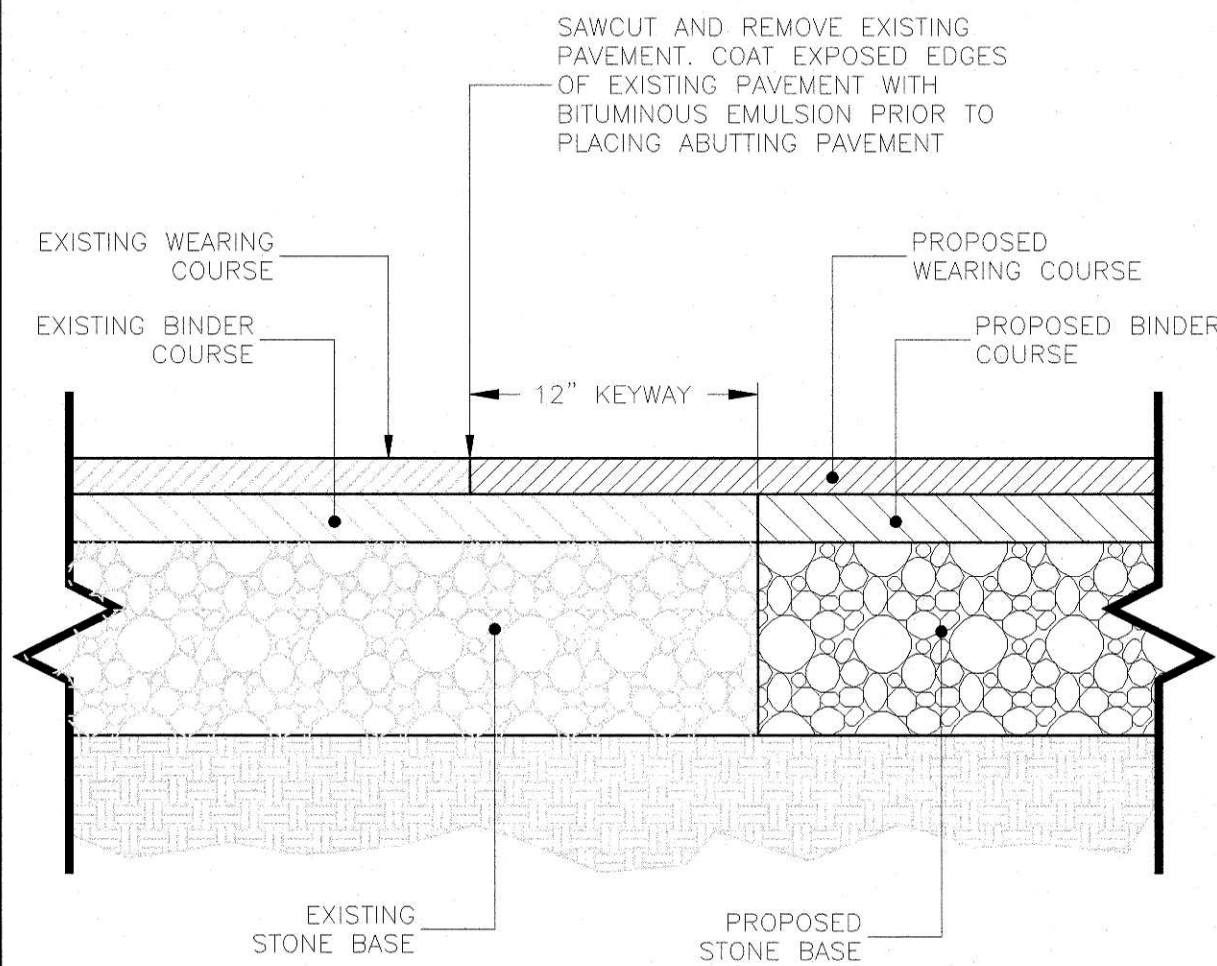
james k. emmanuel | associates
LANDSCAPE ARCHITECTS
22 Canton Rd., MA 01846
Tel: (781) 627-4687
james@jkeassociates.com
www.jkeassociates.com

WILLIAMS & SPARAGES
189 NORTH MAIN STREET
MIDDLETON, MA 01949
PHONE: (978) 538-8888
WWW.WSINTELL.COM
WSINTELL.COM

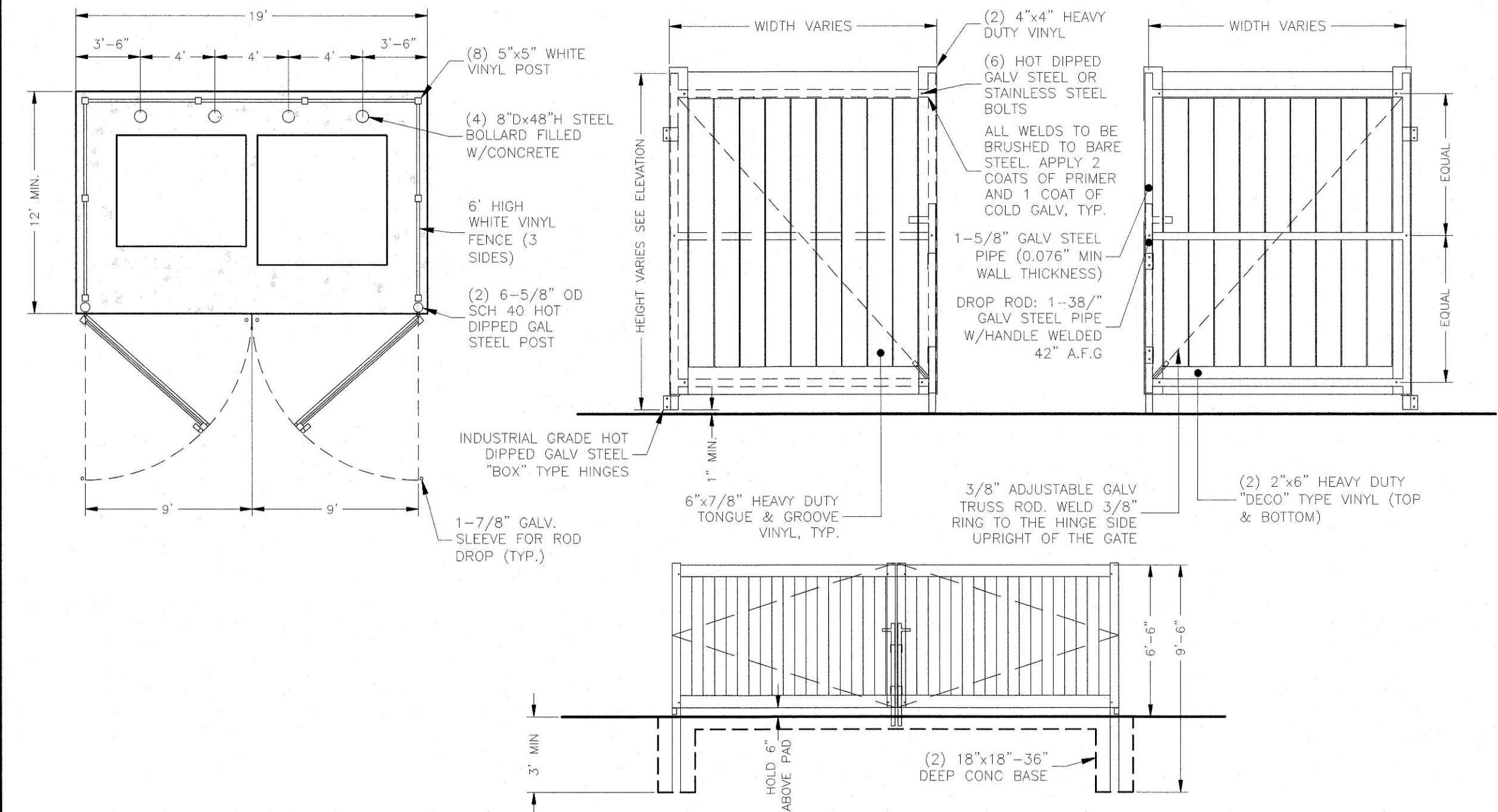


- NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
 3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."

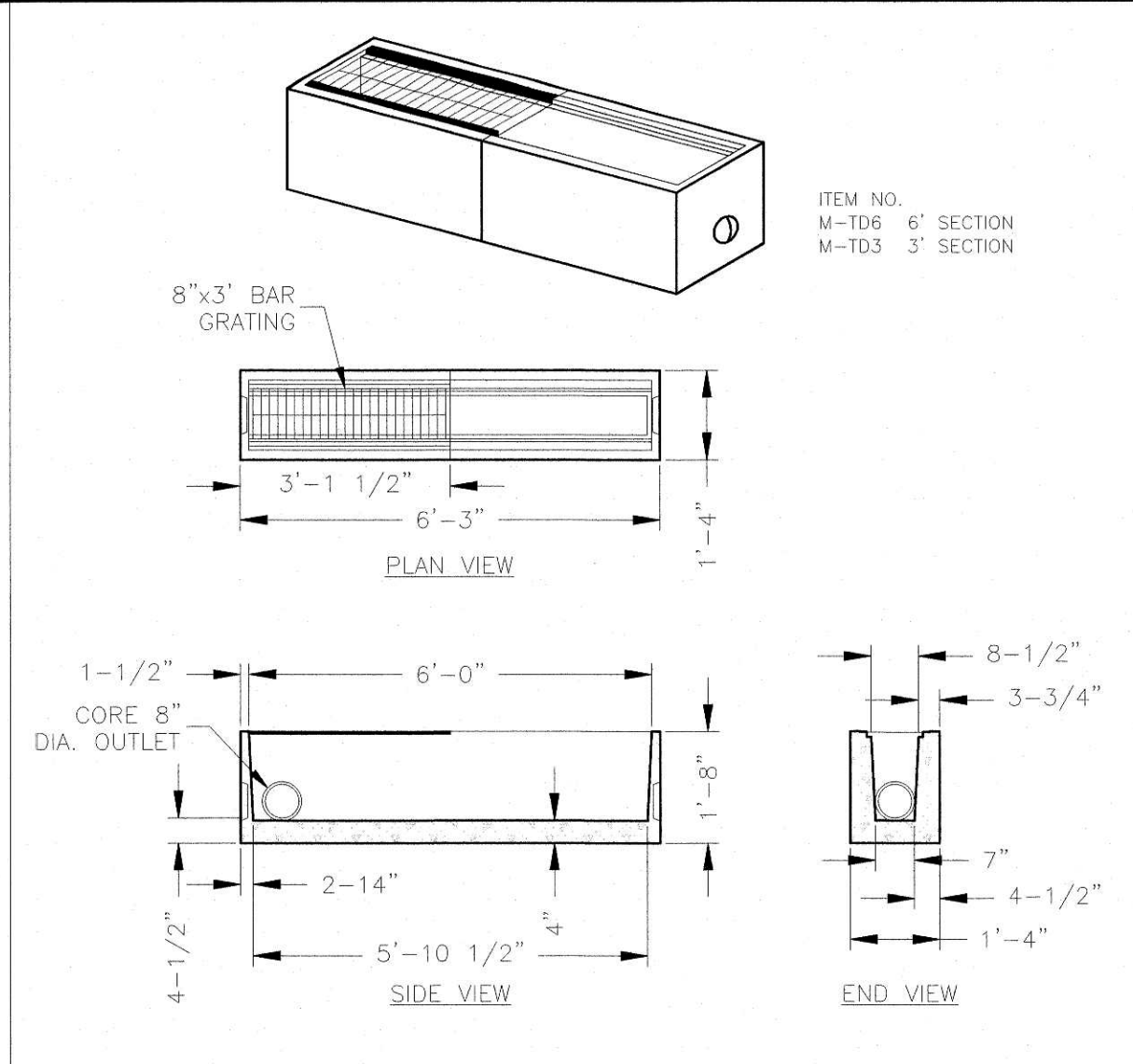
PRECAST CATCH BASIN
NOT TO SCALE



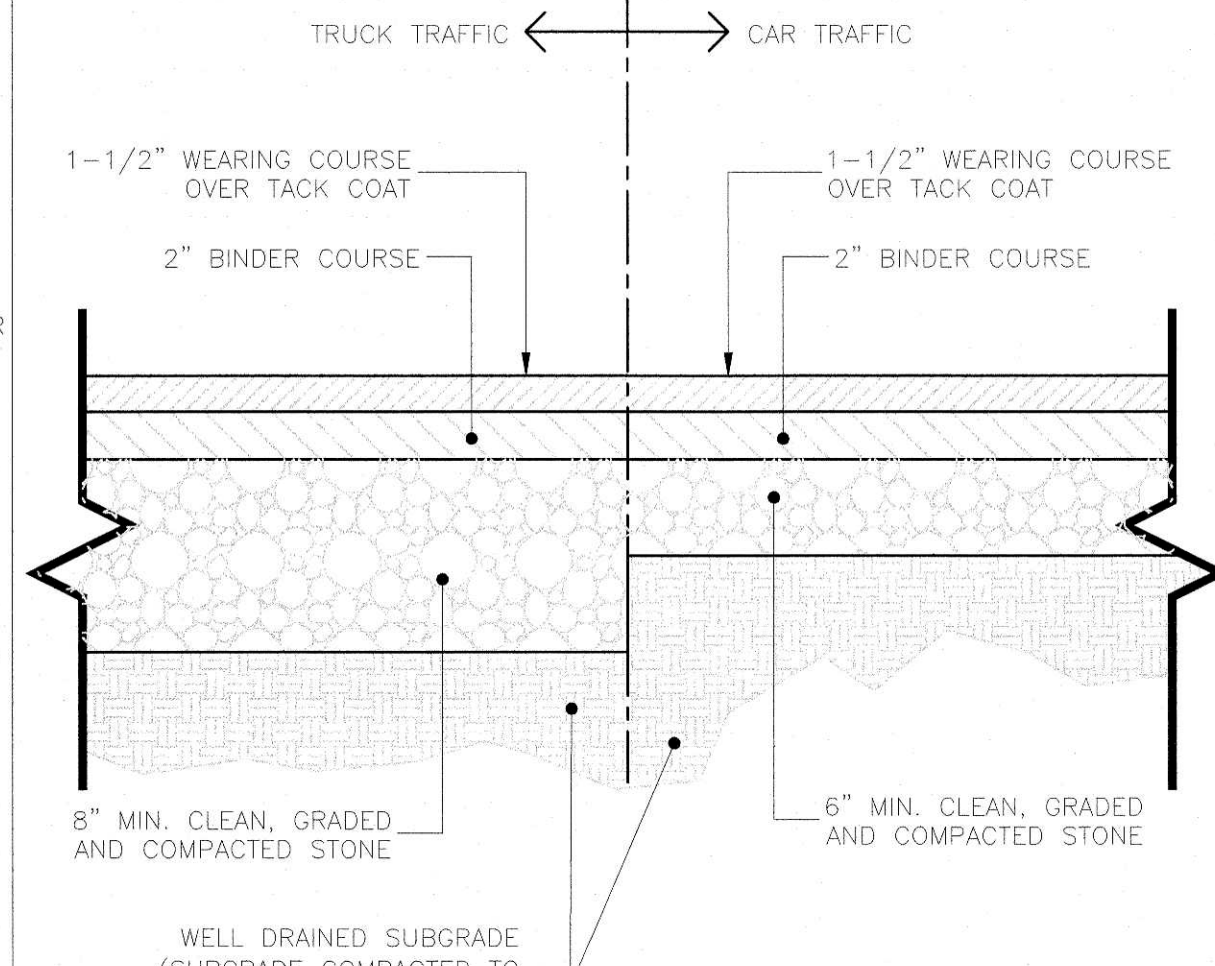
PAVEMENT KEYWAY
NOT TO SCALE



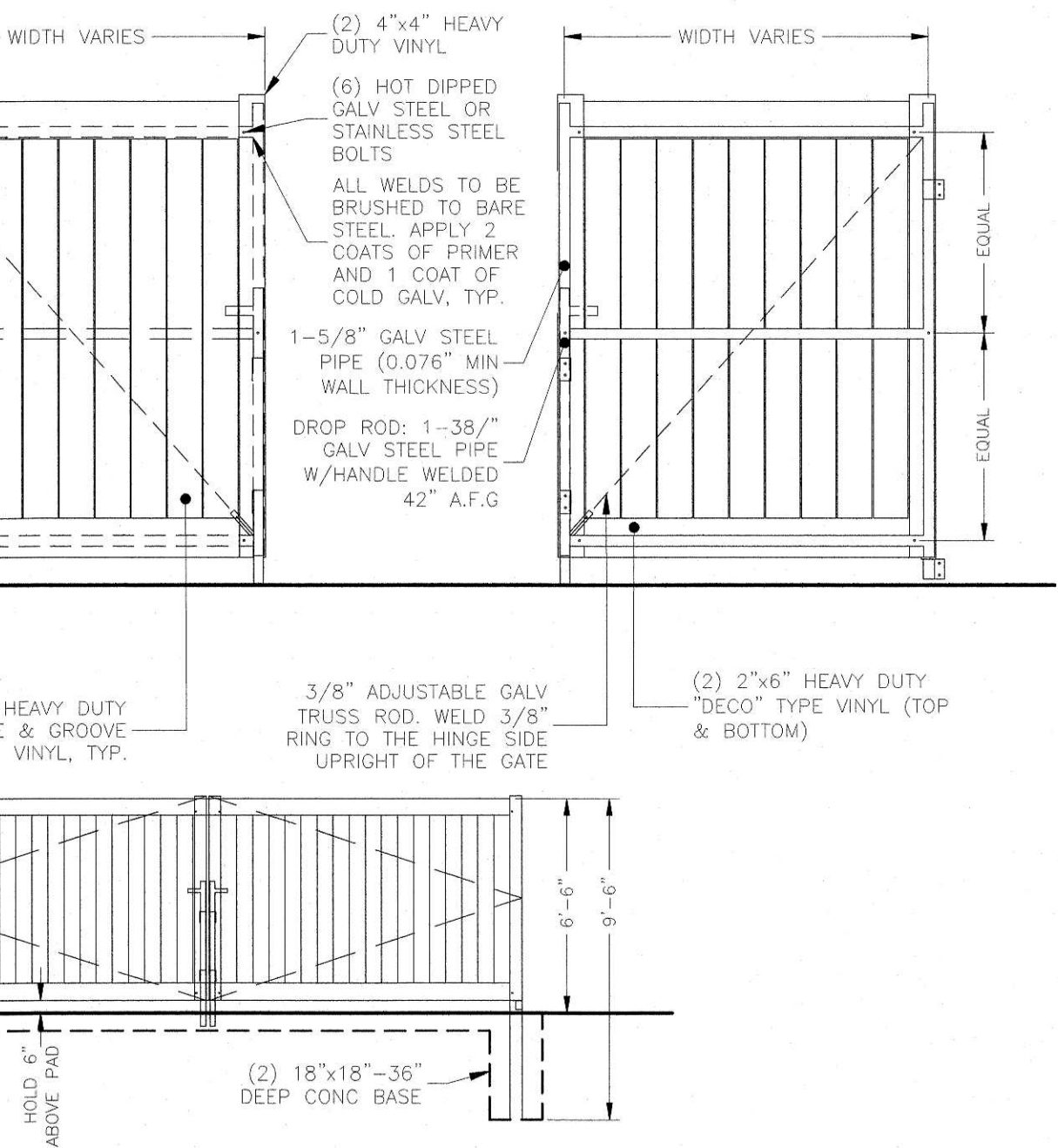
DUMPSTER ENCLOSURE
NOT TO SCALE



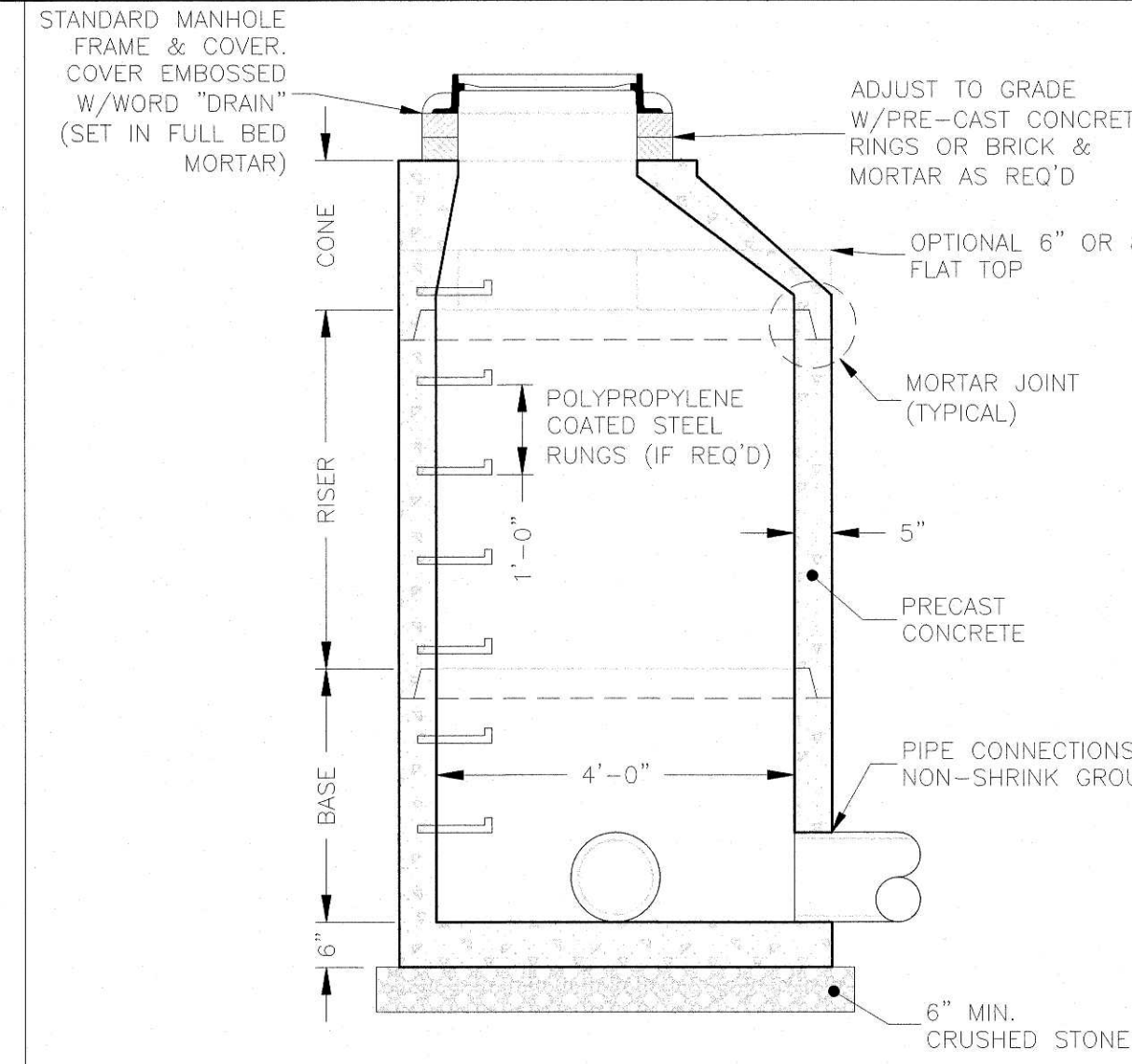
TRENCH DRAIN
NOT TO SCALE



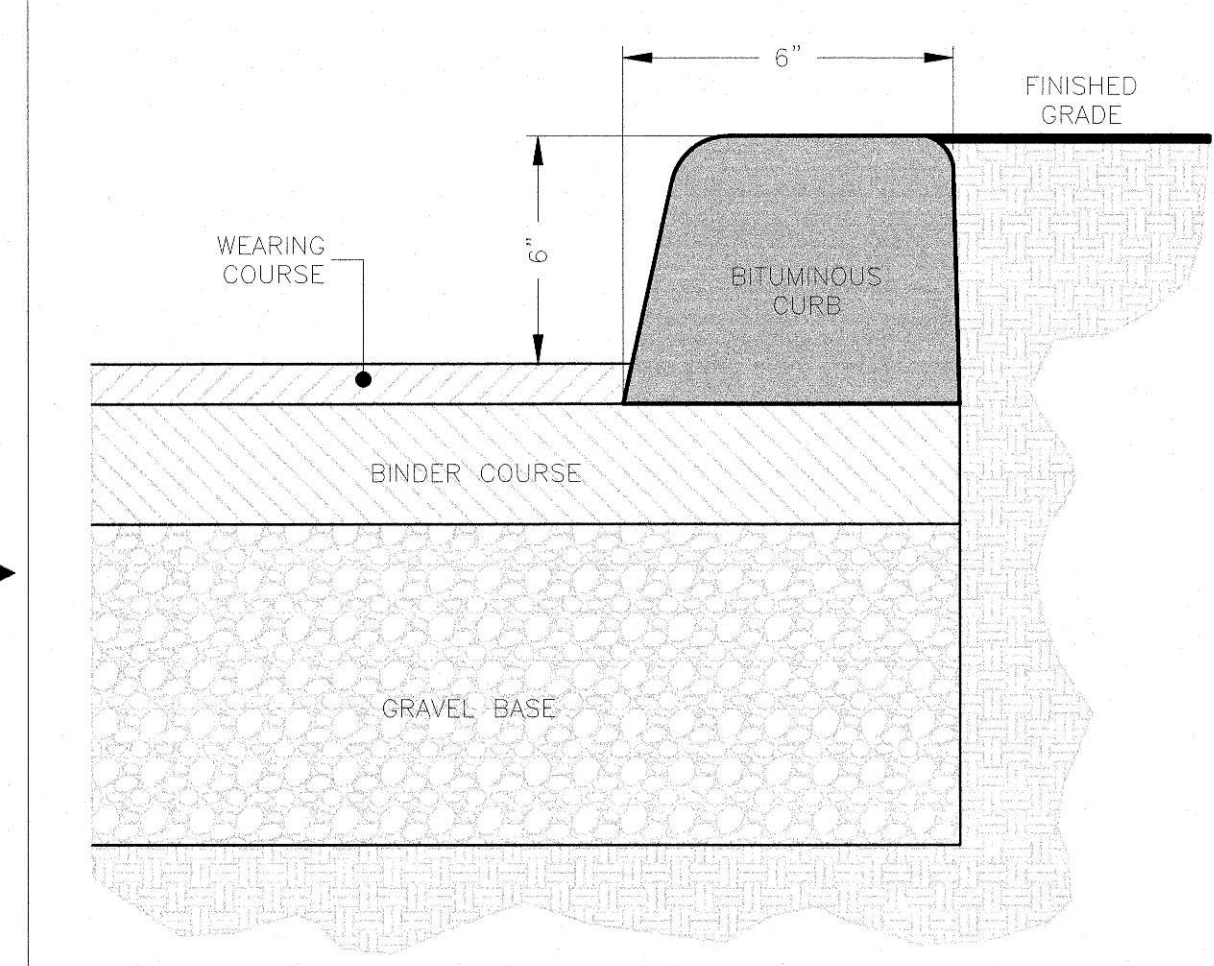
PAVEMENT SECTION
NOT TO SCALE



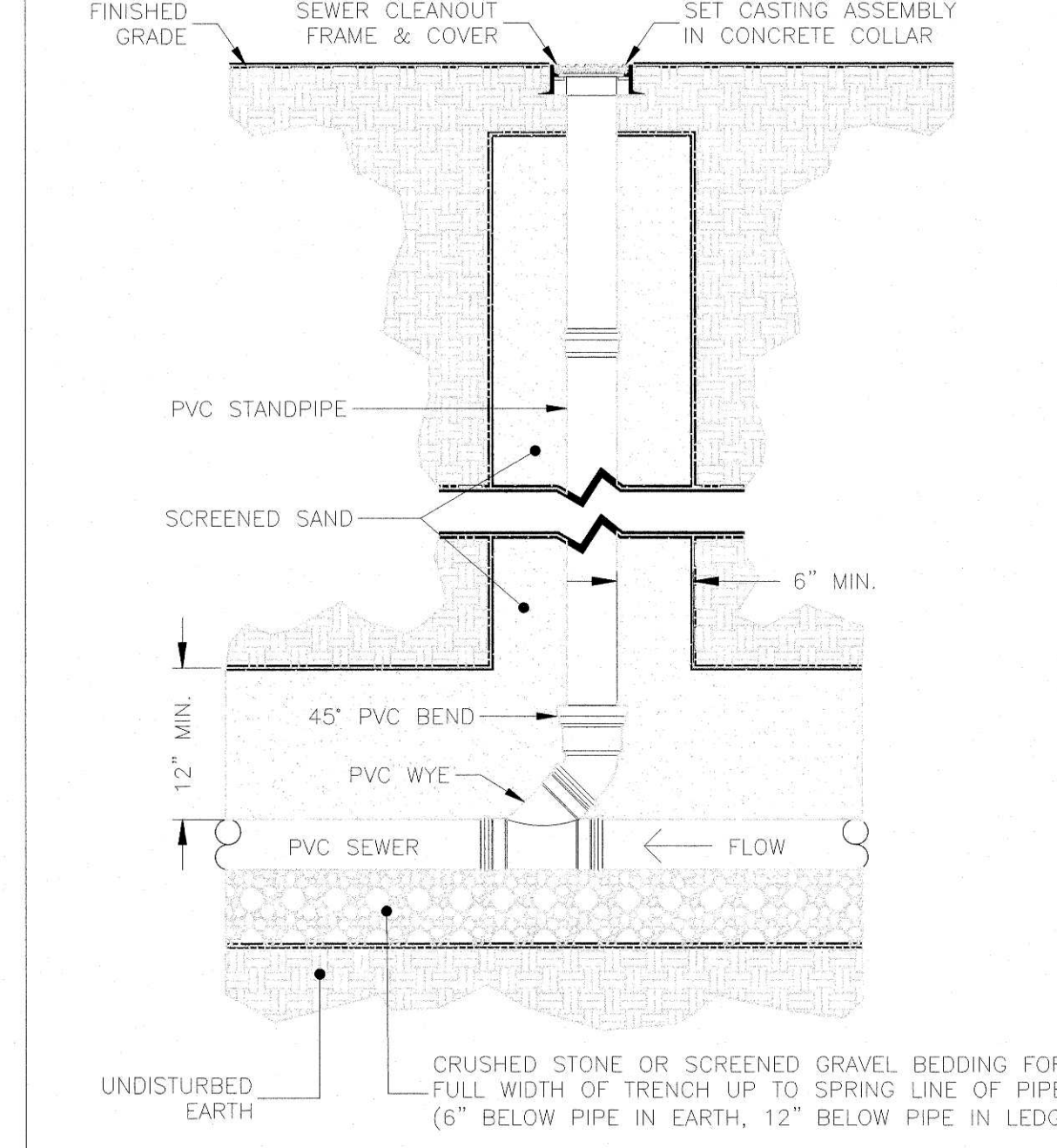
SEWER SERVICE CLEANOUT
NOT TO SCALE



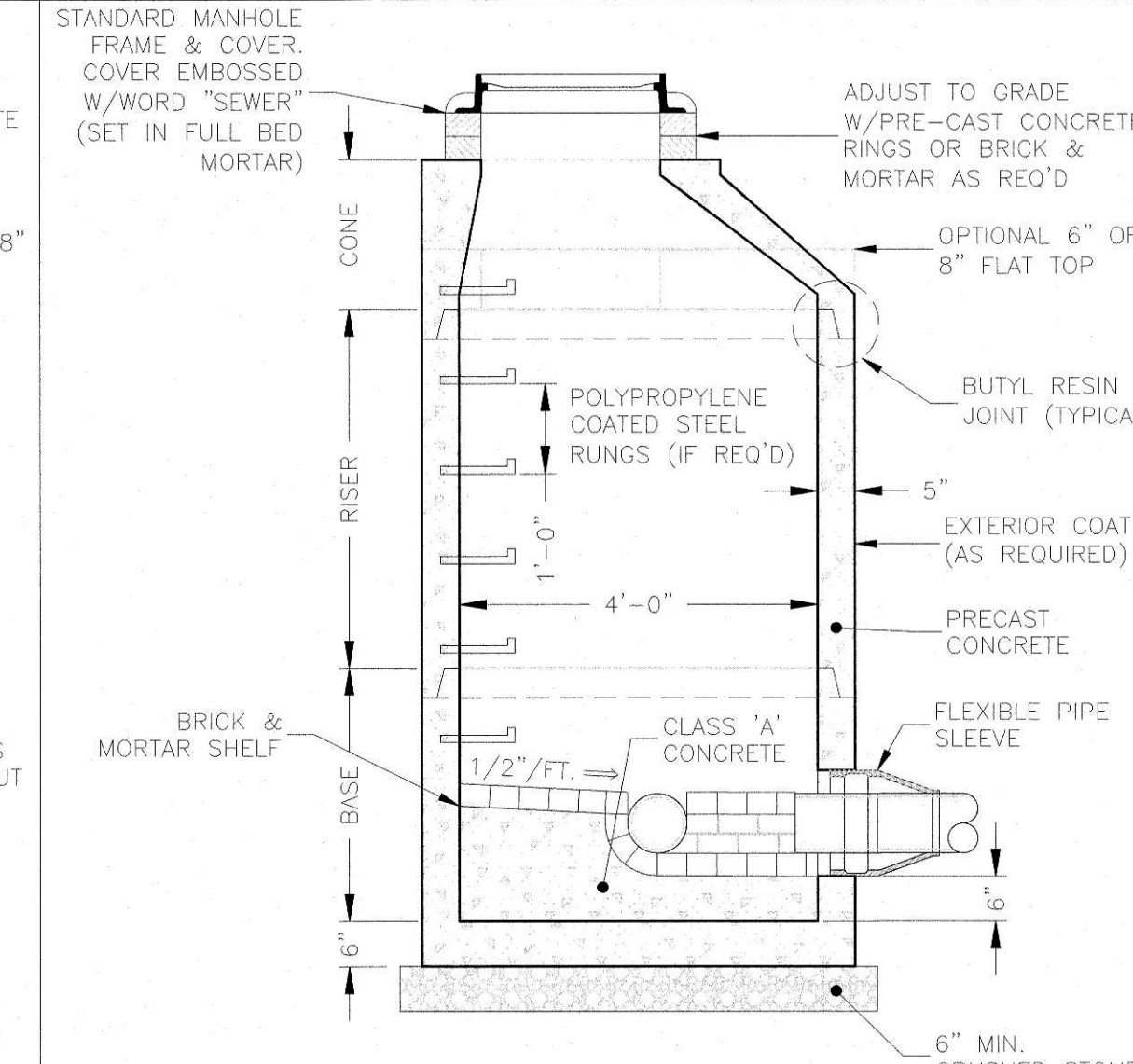
PRECAST DRAIN MANHOLE
NOT TO SCALE



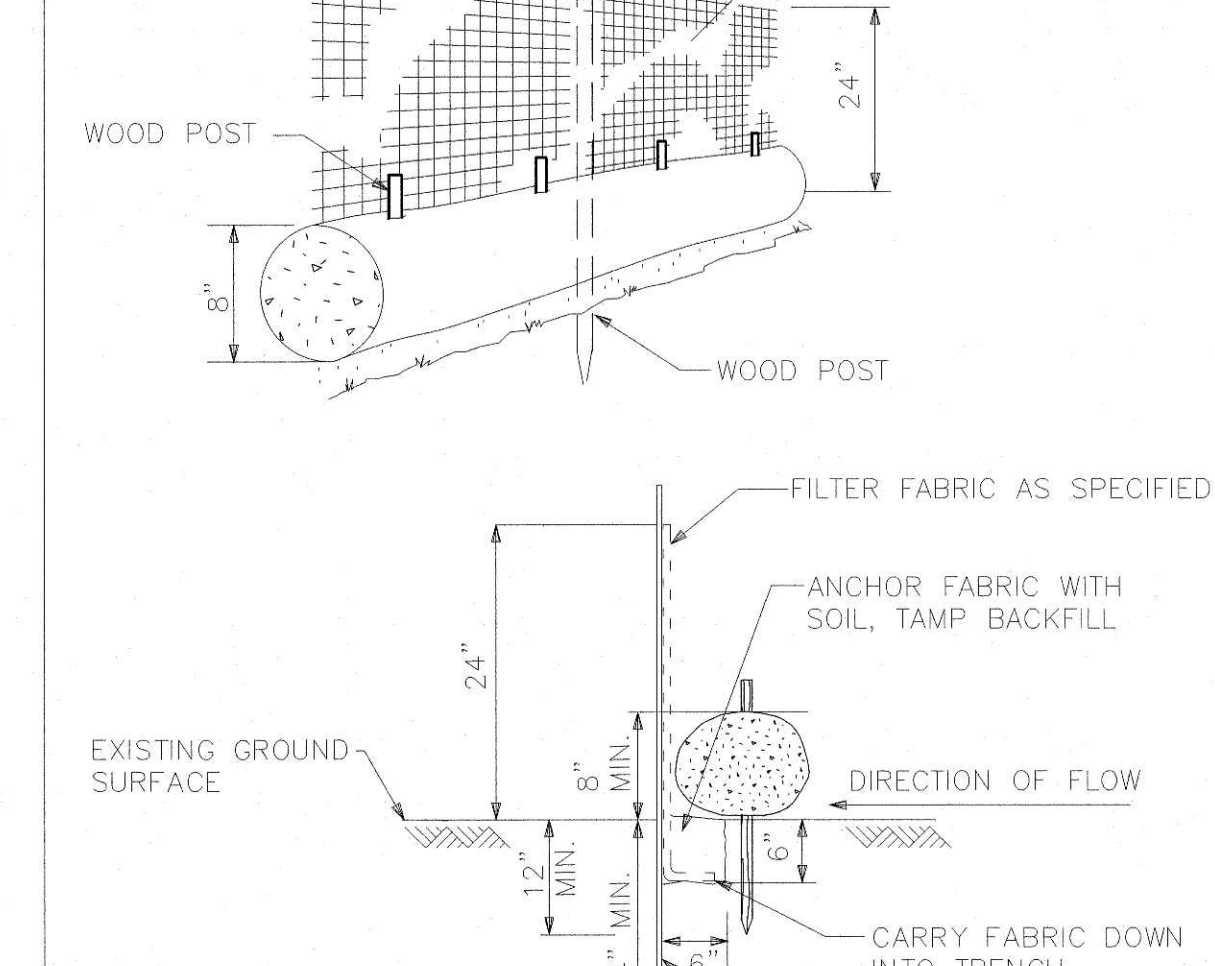
BITUMINOUS CURB
NOT TO SCALE



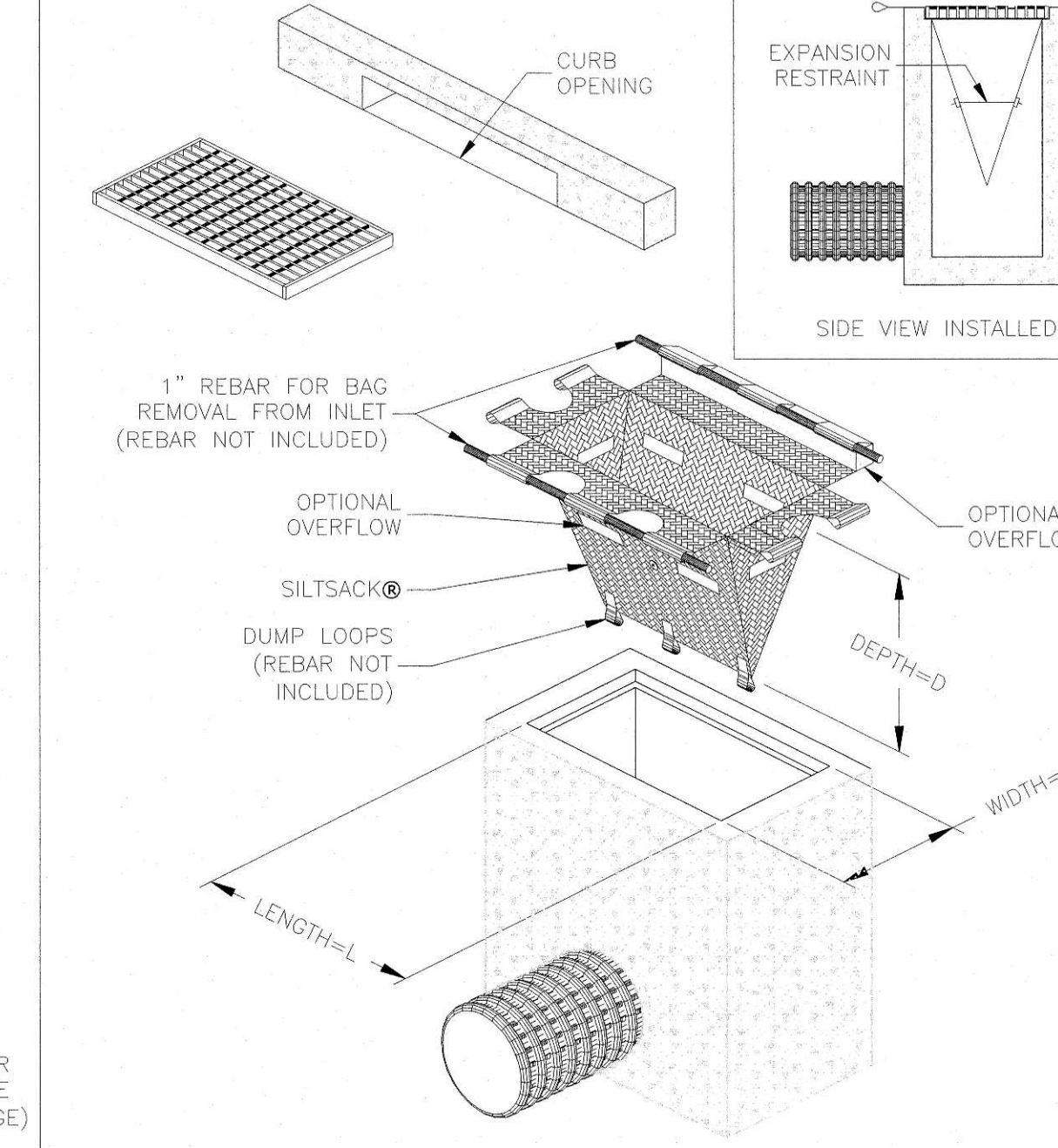
SEWER SERVICE CLEANOUT
NOT TO SCALE



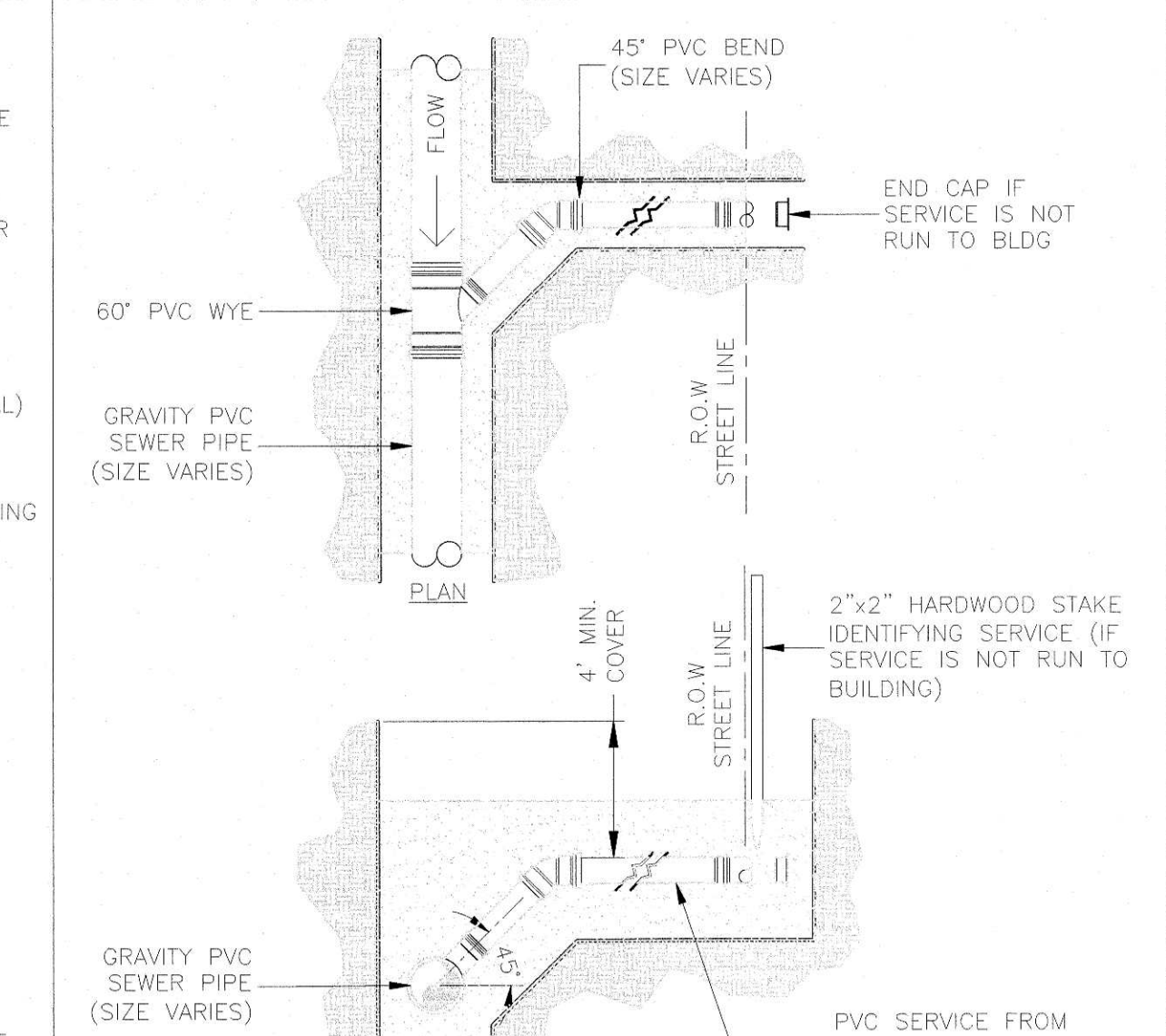
PRE-CAST SEWER MANHOLE
NOT TO SCALE



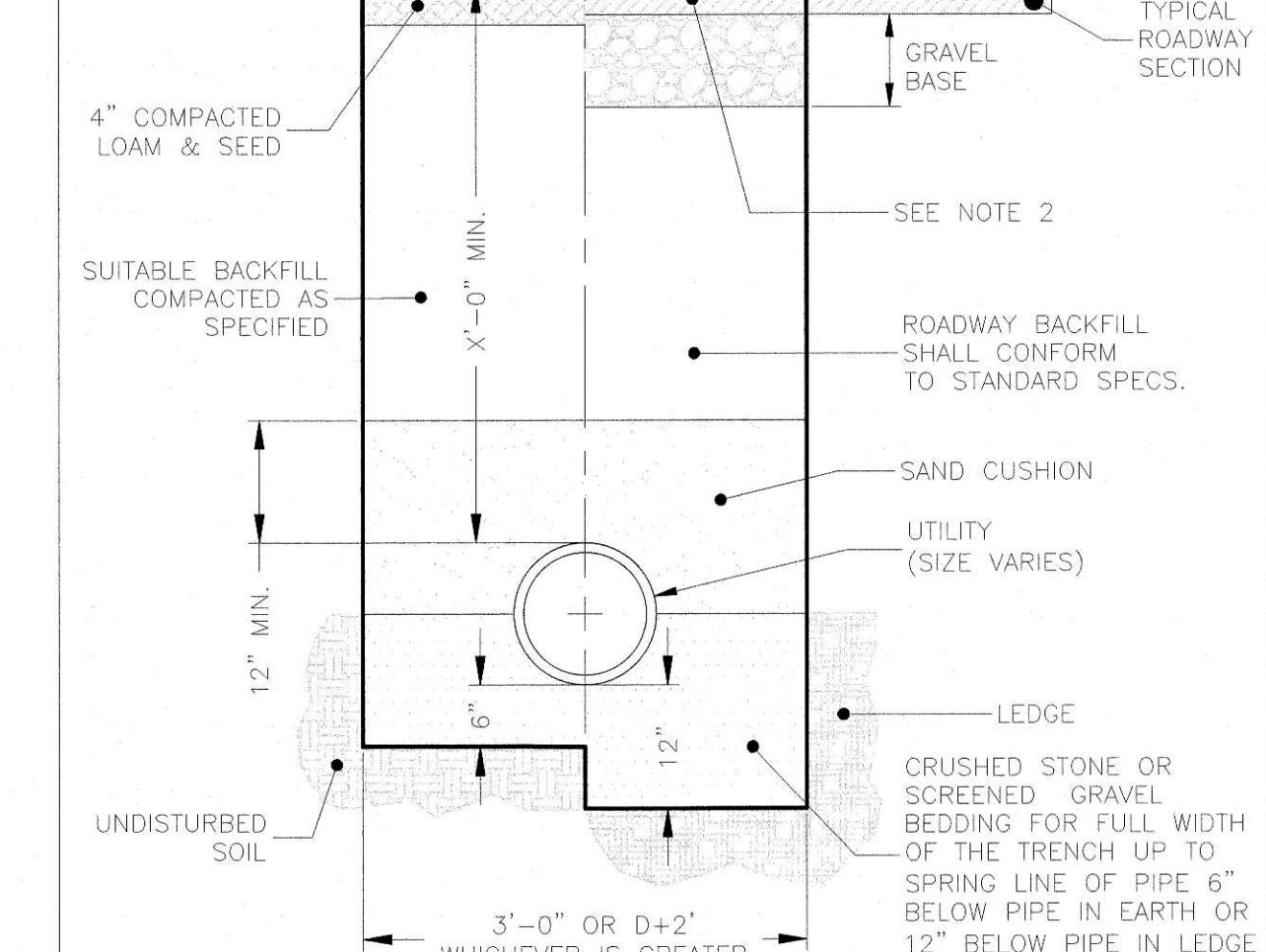
SILT FENCE W/MULCH SOCK
NOT TO SCALE



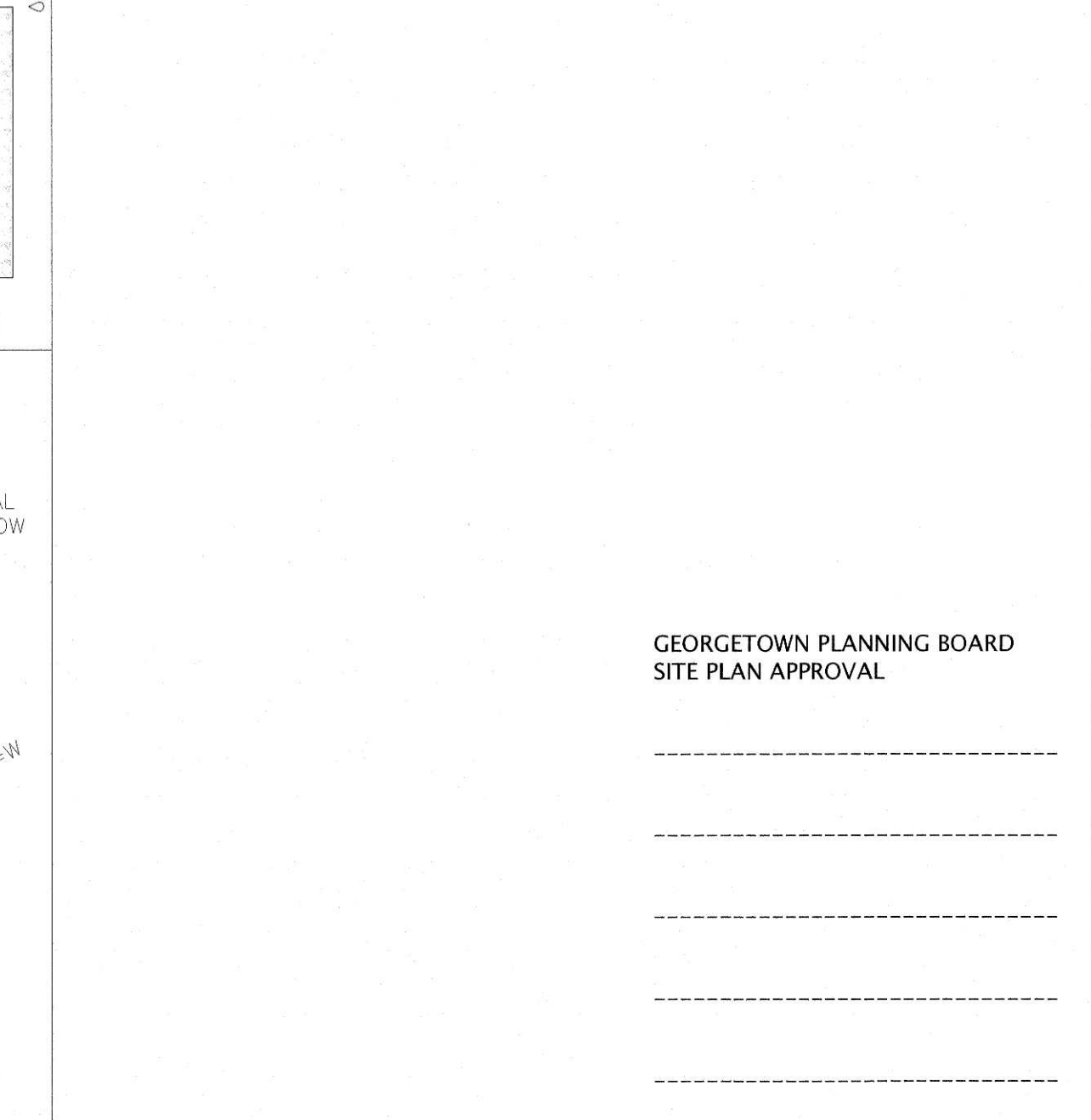
SILTSACK®
NOT TO SCALE



SEWER SERVICE CONNECTION
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE

WILLIAMS & SPARAGES
ENGINEERS ARCHITECTS LANDSCAPE ARCHITECTS
180 NORTH MAIN STREET
MIDDLETON, MA 01808
PHONE: (978) 539-8888
WWW.WSENGINEERS.COM

Owner: Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

Applicant: Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

Designed By: MEM
Drawn By: RLW
Project Manager: RLW
Job File Number: GEOR-005-8A
Drawing File Folder: GEOR38

Drawing Issued for Review
Drawing Issued for Permit
Drawing Issued for Construction

SEAL

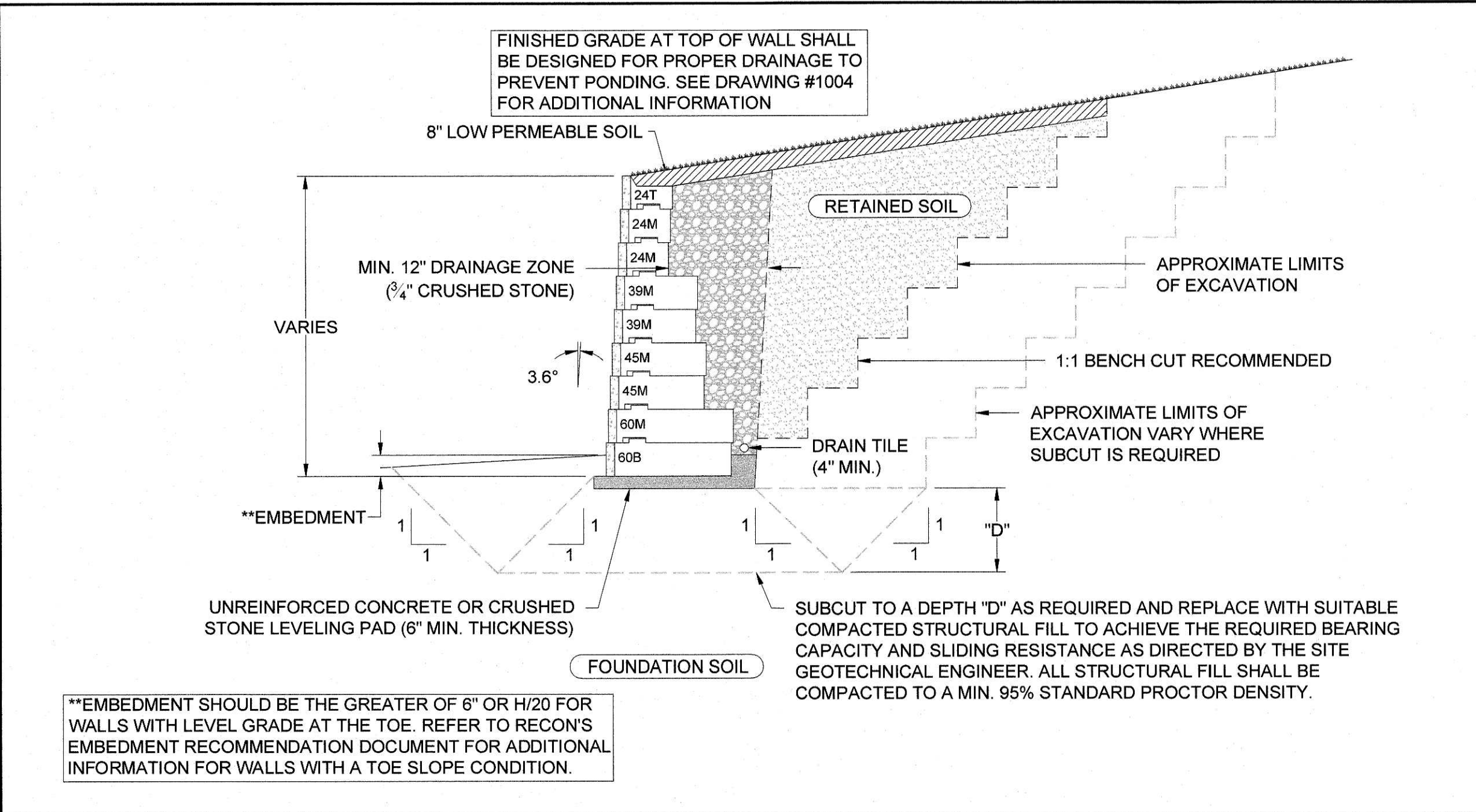
CONSTRUCTION DETAILS PLAN
VILLAGE AT ROCK POND
206 WEST MAIN STREET, GEORGETOWN, MA

SCALE: NONE

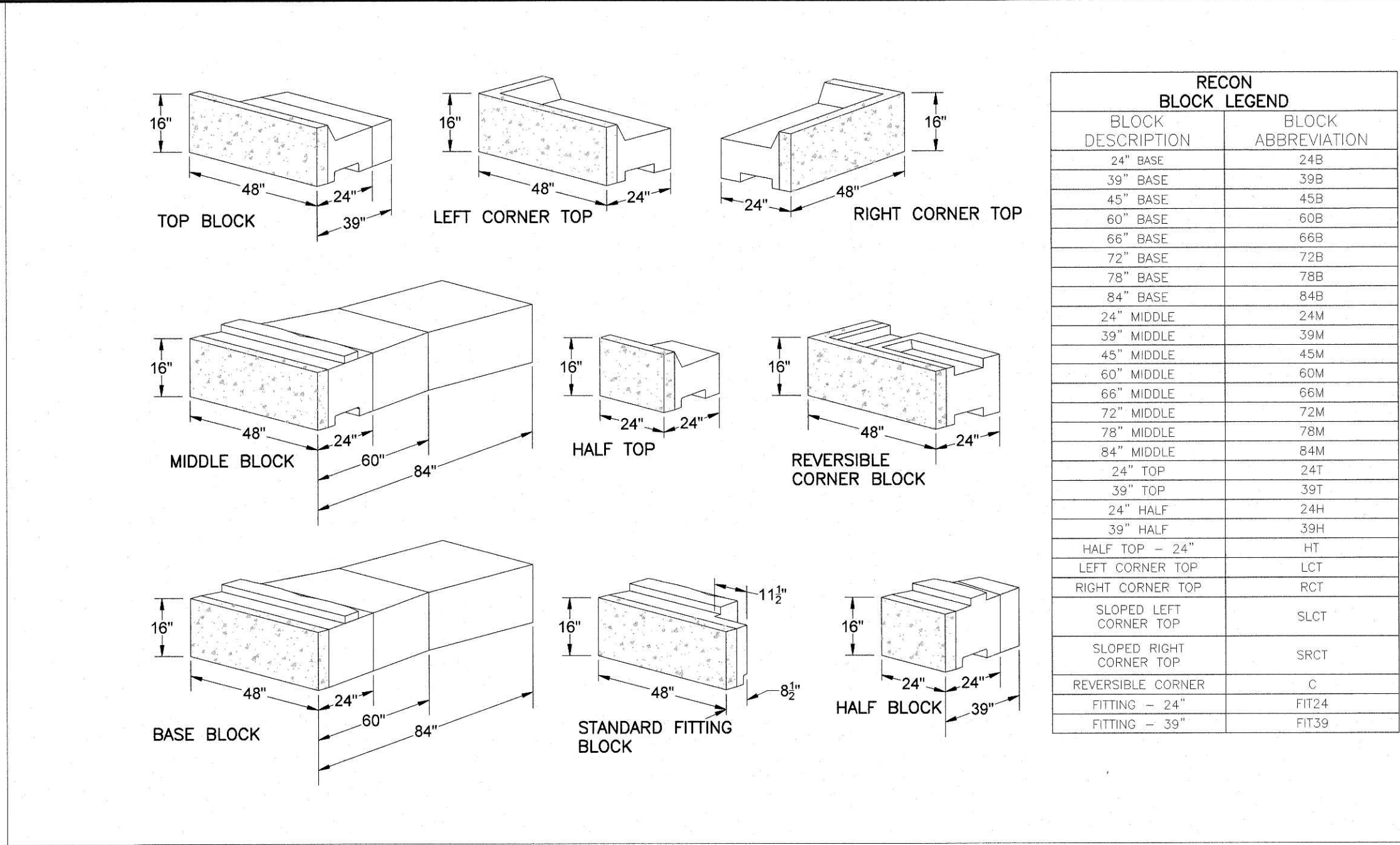
JUNE 12, 2023

DRAWING: C8.1

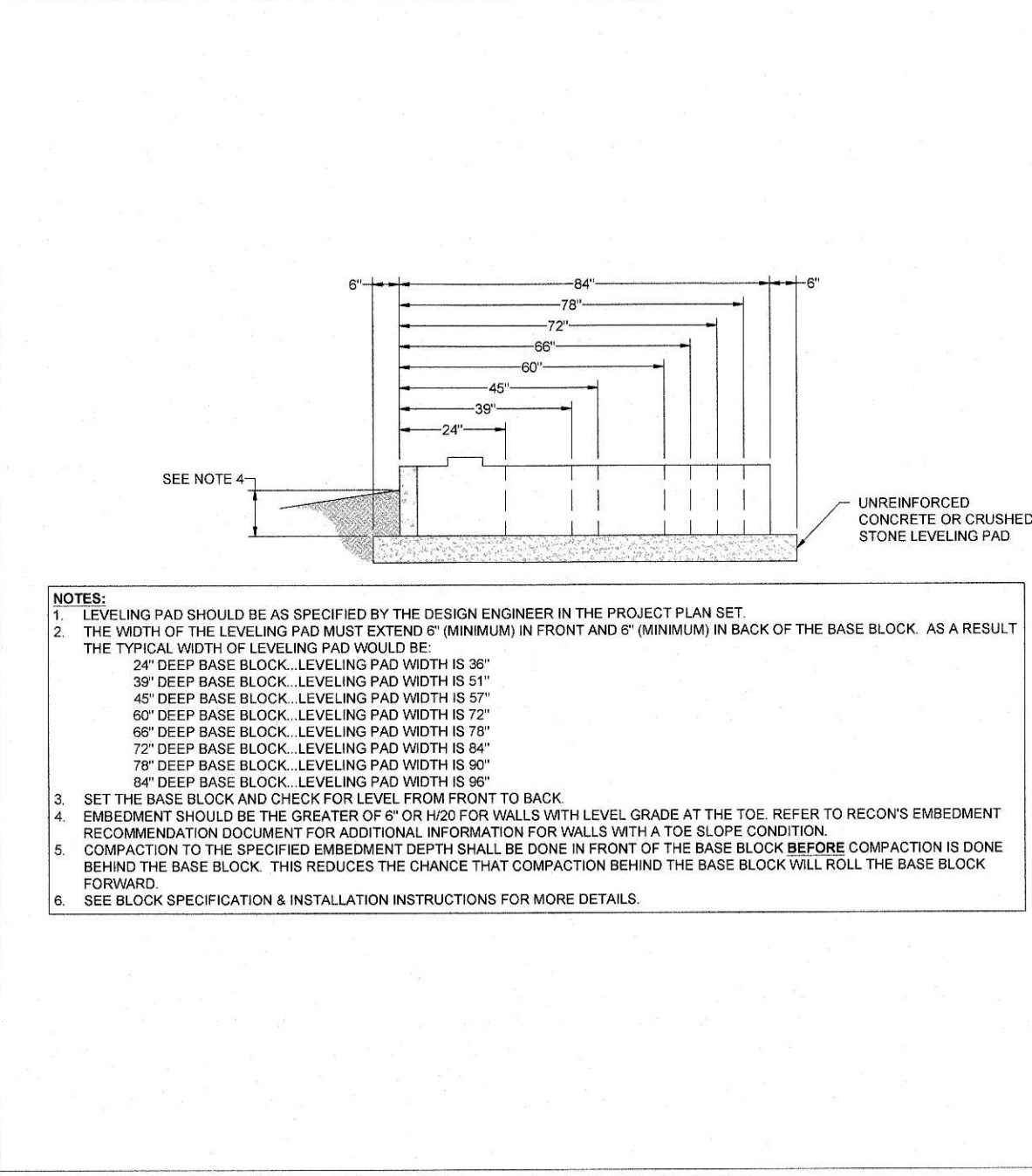
SHEET 8 OF 9



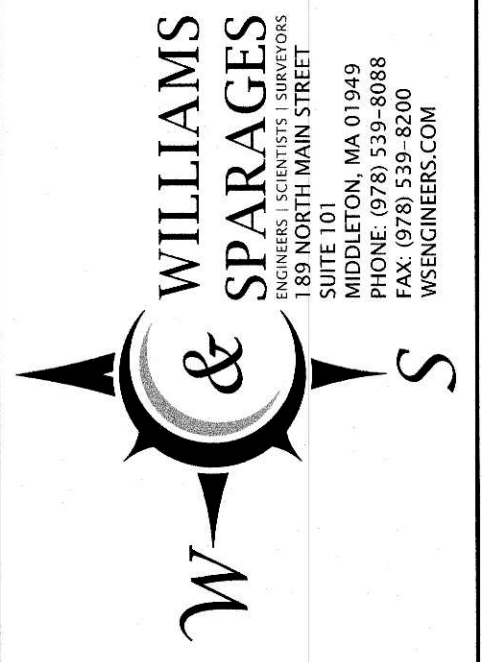
RECON TYPICAL GRAVITY WALL SECTION



RECON BLOCK TYPES



RECON BASE BLOCK PLACEMENT



Owner: Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

Applicant: Rock Pond Development, LLC
499 East Broadway
Haverhill, MA 01830

Designed By: MEM
Drawn By: MEM
Reviewed By: RLW
Project Manager: RLW
Job File Number: GEOR-0058A
Drawing File Folder: GEOR58

☒ Drawing Issued for Review
☐ Drawing Issued for Permit
☐ Drawing Issued for Construction



CONSTRUCTION DETAILS PLAN		VILLAGE AT ROCK POND		206 WEST MAIN STREET, GEORGETOWN, MA	
DRAWING: C8.2	SHEET 9 OF 9	SCALE: NONE	JUNE 12, 2023	12	11
				10	9
				8	7

GEORGETOWN PLANNING BOARD
SITE PLAN APPROVAL

DATE: _____