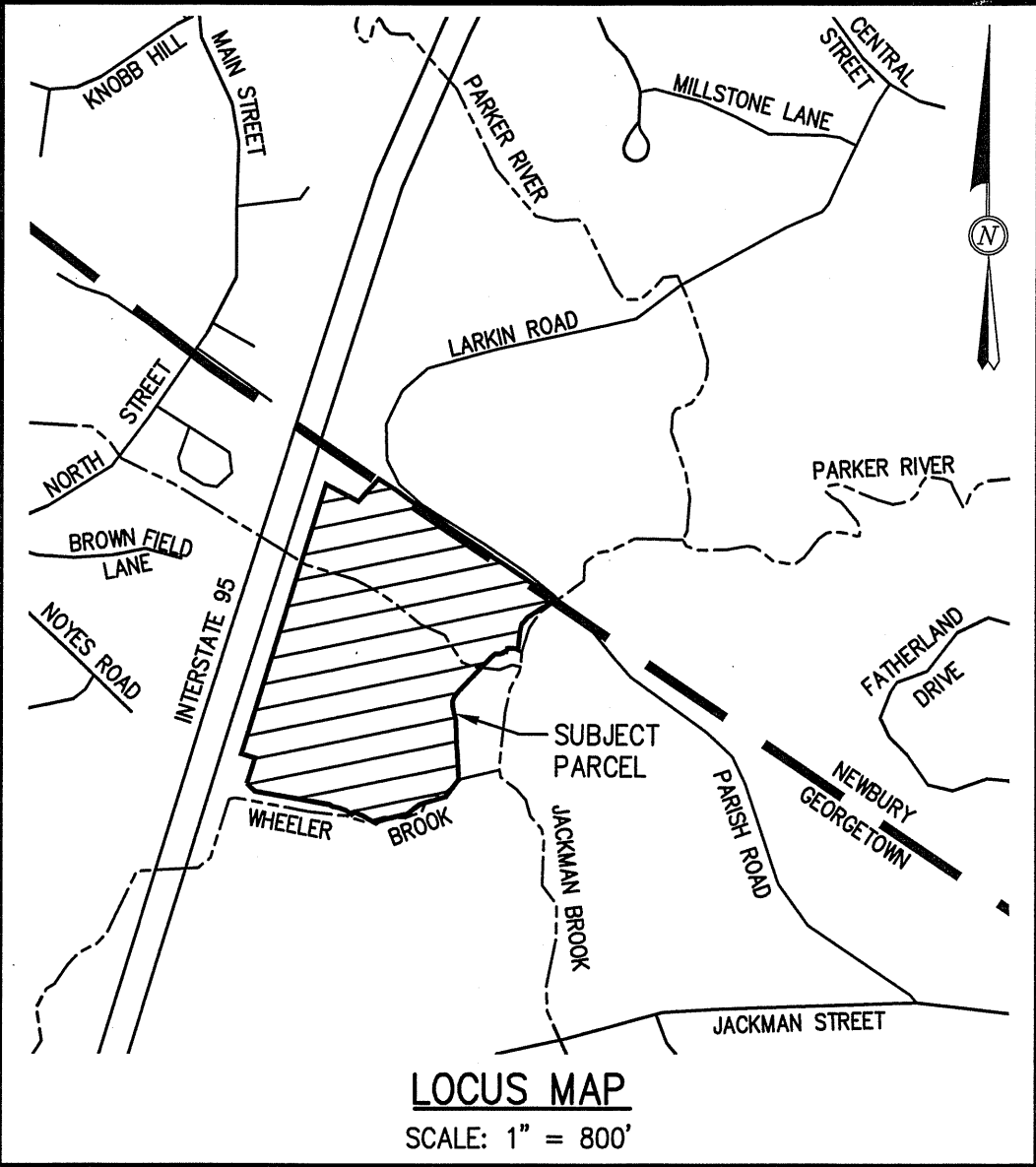




CONSTRUCTION SEQUENCE:

- TO PREVENT EXCESSIVE EROSION AND SILTING, THE FOLLOWING CONSTRUCTION SEQUENCE COUPLED WITH OTHER WIDELY ACCEPTED PRINCIPLES FOR REDUCING EROSION AND SEDIMENTATION SHALL BE IMPLEMENTED IN THE DEVELOPMENT OF THE SITE.
1. THE CONTRACTOR SHALL COORDINATE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO ANY CONSTRUCTION ACTIVITY WITH THE OWNER (OWNER'S REPRESENTATIVE), PLANNING DEPARTMENT REPRESENTATIVE AND ANY OTHER INTERESTED TOWN DEPARTMENT REPRESENTATIVES.
 2. STABILIZATION PRACTICES FOR EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. PLACE EROSION CONTROLS AT LOCATIONS INDICATED ON THE SITE DEVELOPMENT PLANS.
 3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT THE LOCATION NOTED.
 4. IN PREPARING TO REMOVE MATERIALS FROM THE WORK AREA ON THE SITE, CAREFUL CONSIDERATION SHOULD BE MADE TO THE EXTENT OF DISTURBANCE SO AS NOT TO DISTURB MORE OF THE SITE THAN WHAT IS INTENDED TO BE IMMEDIATELY DEVELOPED AND RE-STABILIZED.
 5. LOAM AND TOP SOIL EXCAVATED FROM THE WORK AREA SHALL BE STOCKPILED AT A LOCATION TO BE DETERMINED BY THE SITE CONTRACTOR. IF MATERIALS ARE STOCKPILED ON THE SITE WHERE THEY WILL NOT INTERFERE WITH CONSTRUCTION ACTIVITIES, THEY SHALL BE LOCATED SO AS TO MINIMIZE THE POTENTIAL FOR EROSION INTO EXISTING DRAINAGE INFRASTRUCTURE. STOCKPILES SHALL BE STABILIZED WITH HAYBALES, SILT FENCING OR EQUIVALENT. STOCKPILES LEFT FOR GREATER THAN 14 DAYS SHALL BE SEEDDED WITH AN EROSION CONTROL MIX. THERE SHALL BE NO STOCKPILES WITHIN 50' OF A WETLAND.
 6. REMOVAL OF ALL DEBRIS OR MATERIAL FROM THE WORK AREA SHALL BE DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS UNDER THE OVERSIGHT OF A LICENSED SITE PROFESSIONAL (LSP).
 7. PROPOSED FILL SHALL COMPLY WITH MASSACHUSETTS DEPARTMENT OF TRANSPORTATION SPECIFICATION FOR STRUCTURAL FILL (S2) AND BE PLACED WITH A MAXIMUM LIST OF 8 INCHES AND COMPACTED TO A 95% DENSITY.

EROSION AND SEDIMENTATION CONTROL:

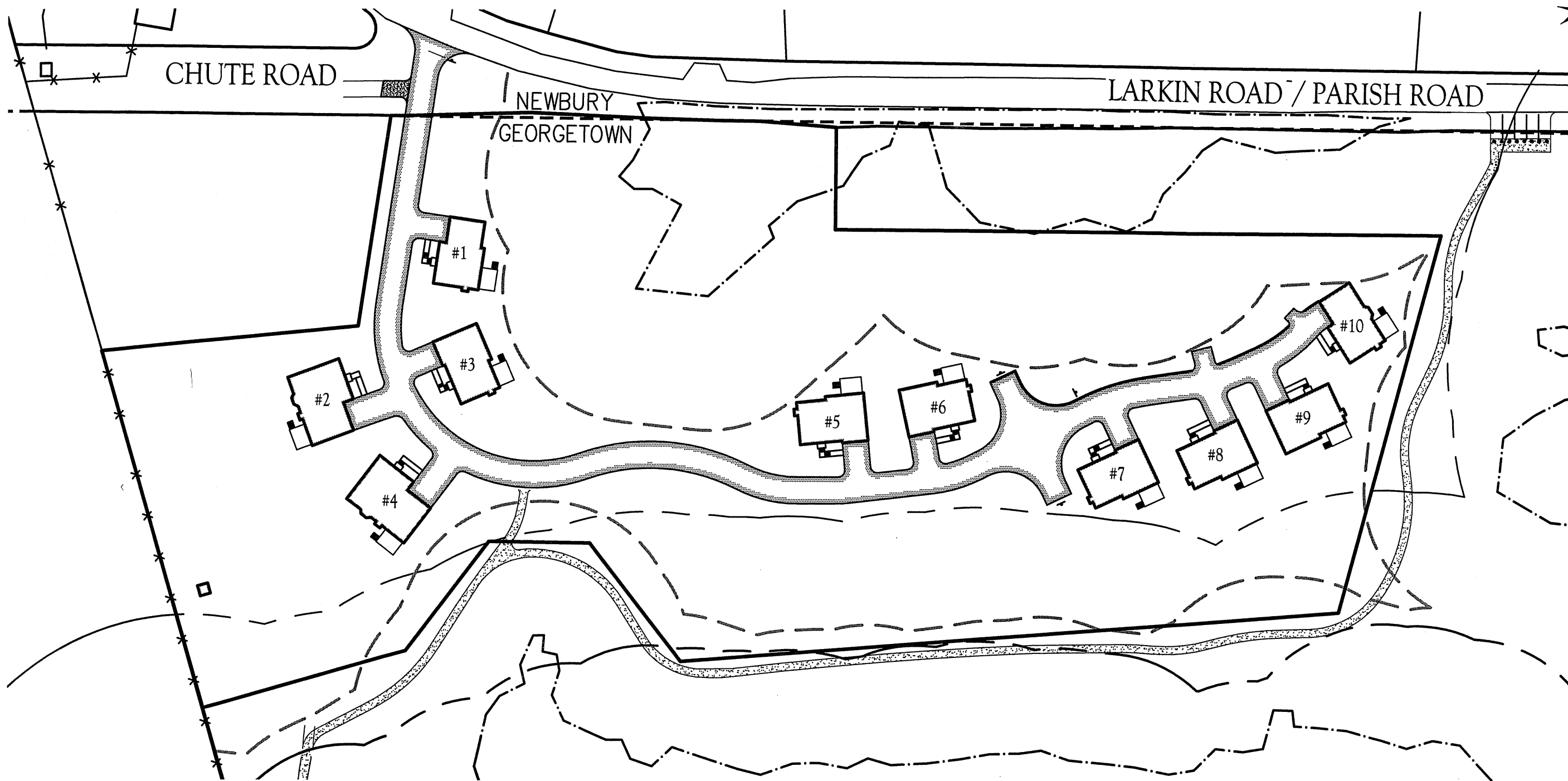
- WIDELY ACCEPTED PRACTICES FOR REDUCING EROSION AND SEDIMENTATION WILL BE EMPLOYED IN THE DEVELOPMENT OF THIS SITE. REFER TO THE STORMWATER POLLUTION PREVENTION PLAN FOR THE PROJECT.
1. THE DEVELOPMENT OF THE SITE HAS BEEN PLANNED TO MATCH EXISTING DRAINAGE PATTERNS TO THE EXTENT PRACTICABLE.
 2. STEEP SLOPES, WHERE POSSIBLE, WILL NOT BE DISTURBED.
 3. NATURAL WETLANDS WILL BE PRESERVED AND PROTECTED EXCEPT AS DETAILED HEREIN, AND EXISTING VEGETATION WILL BE RETAINED AND PROTECTED TO THE EXTENT POSSIBLE.
 4. THE CONTRACTOR SHALL MINIMIZE THE AREA OF DISTURBED LAND TO THE EXTENT FEASIBLE.
 5. SEDIMENT CONTROL MEASURES WILL BE APPLIED TO CONTROL ANY SEDIMENTS THAT MAY BE PRODUCED AS A RESULT OF SITE CONSTRUCTION ACTIVITIES. EROSION AND DEPOSITION OF SEDIMENT WILL BE CLOSELY MONITORED DURING CONSTRUCTION.
 6. TEMPORARY EROSION CONTROL MEASURES WILL INCLUDE, BUT NOT BE LIMITED TO, FILTER FABRIC SILT FENCES, HAYBALE BARRIERS, SILT SOCKS, SEEDING AND MULCHING, SEEDDED FILTER STRIPS AND SILT SACKS IN CATCH BASINS (EXISTING AND NEWLY INSTALLED).
 7. TOPSOIL STRIPPED FROM THE SITE WILL BE STOCKPILED FOR LOAMING AND SEEDING AT LATER CONSTRUCTION STAGES. THE STOCKPILES SHALL BE LOCATED SO AS TO ACT AS TEMPORARY DIVERSIONS, GENERALLY ON AN UPHILL SLOPE.
 8. SITE DEVELOPMENT WILL NOT COMMENCE UNTIL ALL TEMPORARY EROSION CONTROL MEASURES ARE IN PLACE. THESE MEASURES SHALL BE EMPLOYED UNTIL FINAL PAVING AND ADEQUATE VEGETATION HAS BEEN ESTABLISHED.
 9. THE OWNER IS RESPONSIBLE FOR CONDUCTING WEEKLY ENVIRONMENTAL MONITORING DURING CONSTRUCTION AND ANY CONDITIONS SET FORTH AS REQUIRED BY THE GEORGETOWN CONSERVATION COMMISSION AND PLANNING BOARD.
 10. THE GEORGETOWN CONSERVATION COMMISSION SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO INSPECT EROSION CONTROLS TO BE IMPLEMENTED DURING CONSTRUCTION.
 11. THE CONSTRUCTION PHASE MUST COMPLY WITH THE ENVIRONMENTAL PROTECTION AGENCY (EPA) NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PROTOCOLS. AN EPA NOTICE OF INTENT SHALL BE SUBMITTED TO THE EPA AT LEAST 2 WEEKS PRIOR TO THE START OF CONSTRUCTION.

WATER AND SEWER NOTES:

1. PROPOSED WATER SERVICE CONNECTIONS SHALL BE COORDINATED WITH THE BYFIELD WATER DISTRICT AND GEORGETOWN WATER DEPARTMENT.
2. A MINIMUM OF 10 FEET CLEAR HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN SANITARY SEWER PIPES AND WATER PIPES UNLESS CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, IN WHICH CASE THE CONTRACTOR SHALL CONFORM TO NOTE NO. 4 BELOW.
3. ALL GRAVITY SEWER PIPE SHALL BE POLYVINYL CHLORIDE (PVC) SDR-35 UNLESS OTHERWISE NOTED.
4. WHERE SANITARY SEWERS CROSS WATER SERVICES OR A MINIMUM OF 10 FEET LATERAL SEPARATION CANNOT BE ACHIEVED, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER PIPE. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER PIPE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER PIPE SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, THE WATER PIPE SHALL BE SLEEVED IN PVC FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE SEWER PIPE AND SEALED AT EACH END.
5. WATER SERVICE CONNECTIONS SHALL HAVE A MIN. 5' OF COVER TO PREVENT FREEZING.

PARISH COMMON
OPEN SPACE RESIDENTIAL DEVELOPMENT

66 PARISH ROAD
GEORGETOWN, MASSACHUSETTS
(ASSESSOR'S MAP 20, LOT 1)



PLAN VIEW
SCALE: 1" = 80'

GENERAL UTILITY NOTES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND STRUCTURES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE LOCATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF UTILITIES AND THE ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION SHALL BE TAKEN BEFORE PROCEEDING WITH THE WORK. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLAN.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
3. THE CONTRACTOR SHALL COORDINATE WITH THE CABLE AND TELEPHONE COMPANIES TO VERIFY THE LOCATION, SIZE AND TYPE OF SAID UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL GIVE SAID UTILITY COMPANIES ADVANCE NOTICE OF WHEN THE UTILITY LINES WILL BE INSTALLED.

STORM DRAIN NOTES:

1. BACKFILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY BY AASHTO T-1800 METHOD.
2. SHEETING, IF USED, SHALL BE REMOVED PRIOR TO BACKFILLING TRENCH.
3. UNSUITABLE SOIL BELOW THE INVERT SHALL BE REMOVED AND REPLACED WITH APPROVED MATERIAL AND SHALL NOT BE USED AS BACKFILL.
4. UNSUITABLE MATERIALS SHALL BE REMOVED FROM BENEATH THE RECHARGE FACILITY AND REPLACED WITH CLEAN, GRANULAR FILL MEETING THE ASTM C33 SPECIFICATIONS (CONCRETE SAND).
5. ROOF DRAINS SHALL BE DIRECTED TO THE DRAINAGE SYSTEM WHERE SHOWN. COORDINATE LOCATIONS WITH THE PROJECT ARCHITECT.

DEMOLITION NOTES:

1. ALL MATERIALS REMOVED FROM THE PREMISES SHALL BE DONE SO IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS FOR HAULING AND DISPOSAL.
2. COORDINATE ANY UTILITY DISCONNECTIONS WITH APPROPRIATE SERVICE PROVIDERS.
3. ALL TREES TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. AVOID HEAVY MACHINERY WITHIN ROOT BALL AREAS.

LEGEND

CONTOURS
MAJOR
MINOR
SPOT GRADES

LIMIT OF BVW
LIMIT OF 50' NO-DISTURB ZONE
LIMIT OF 75' NO-BUILD ZONE
LIMIT OF 100' BUFFER ZONE
LIMIT OF TOP OF BANK
LIMIT OF 100' RIVERFRONT AREA
LIMIT OF 200' RIVERFRONT AREA

DRAIN PIPE
FENCE
FORCE MAIN
LIMIT OF WORK
RETAINING WALL
SANITARY SEWER
STONE WALL
TRELIN
WATER MAIN
WATER SERVICE

HYDRANT
SEWER MANHOLE
TEST PIT
TOP OF BANK FLAG
UTILITY POLE
VORTSENTRY
WATER GATE
WETLAND FLAG

EXISTING

40
38
x45.6

40
38
x45.6

TP-11
R56
B36

PROPOSED

40
38
x45.6

D
FM
S

W
WS

R
RG
S
SF
SMH
TOF
TP
TYP
V
WS

SCHEDULE OF PLAN SET DRAWINGS:

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS PLAN A
- C-3 EXISTING CONDITIONS PLAN B
- C-4 SITE LAYOUT PLAN
- C-5 GRADING & DRAINAGE PLAN
- C-6 ACCESS DRIVE PLAN & PROFILE
- L-1 LANDSCAPE PLAN
- D-1 CONSTRUCTION DETAILS I
- D-2 CONSTRUCTION DETAILS II
- D-3 CONSTRUCTION DETAILS III
- D-4 CONSTRUCTION DETAILS IV

APPLICANT:

LIVINGSTONE DEVELOPMENT CORPORATION
P.O. BOX 50
TEWKSBURY, MA 01876

SURVEYOR/CIVIL ENGINEER:

THE MORIN-CAMERON GROUP, INC.
66 ELM STREET
DANVERS, MA 01923
978-777-8586

OWNER INFORMATION:

PARISH ROAD REALTY TRUST
JOSEPH & JOHN B. DELORENZO, TRUSTEES
161 ELLIOTT STREET
DANVERS, MA 01923
ASSESSORS MAP 20 LOT 1
DEED BOOK 24162 PAGE 186

PLAN NOTES:

1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).

WETLAND NOTE:

WETLAND RESOURCE AREAS SHOWN HEREON WERE DELINEATED BY WETLANDS PRESERVATION, INC., AS MODIFIED AND APPROVED BY THE GEORGETOWN CONSERVATION COMMISSION UNDER THE ORDER OF RESOURCE AREA DELINEATION WITH DEP FILE NO. 161-0825.

FLOOD NOTE:

1. BY EXAMINATION OF THE CURRENTLY APPLICABLE FEMA FLOOD MAP A PORTION OF THE PROPERTY IS LOCATED WITHIN A ZONE "A" AND "AE" AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 25009C252F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

WATER SUPPLY NOTE:

1. THE PARCEL IS SITUATED IN A ZONE A: SURFACE DRINKING WATER SUPPLY OR AN IWPA/ZONE II GROUNDWATER DRINKING WATER SUPPLY.

AS-BUILT RECORDS:

1. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN A RECORD OF ALL BURIED UTILITIES. THE "AS-BUILT" RECORDS SHALL BE PROVIDED TO THE DESIGN ENGINEER AT THE COMPLETION OF THE PROJECT.

ABBREVIATIONS

AC	ACRES	ID	INNER DIAMETER
APPROX	APPROXIMATE	INV	INVERT
BIT	BITUMINOUS	LF	LINEAR FEET
BLDG	BUILDING	MAX	MAXIMUM
BOT	BOTTOM	MIN	MINIMUM
BSMT	BASEMENT SLAB	N/F	NOW OR FORMERLY
BVW	BORDERING VEGETATED WETLAND	OC	ON CENTER
CCB	CAPE COD BERM	OCS	OUTLET CONTROL STRUCTURE
CLDI	CONCRETE LINED DUCTILE IRON	PROP	PROPOSED
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
DI	DUCTILE IRON	PVC	POLYVINYL CHLORIDE
DIA	DIAMETER	R	RADIUS
EL/ELEV	ELEVATION	RG	RAIN GARDEN
EP	EDGE OF PAVEMENT	S	SEWER/SLOPE
EXIST	EXISTING	SF	SQUARE FEET
FG	FINISHED GRADE	SMH	SEWER MANHOLE
FM	FORCE MAIN	TOF	TOP OF FOUNDATION
FT	FEET	TP	TEST PIT
GAL	GALLON	TYP	TYPICAL
GF	GARAGE FLOOR	V	VERTICAL
H	HORIZONTAL	WS	WATER SERVICE



PROGRESS SET
ISSUED 10/2/18

SURVEY BY: CSI
DRAFTED BY: DJP/MCL
CHECKED BY: MCL/PGC
APPROVED BY: MCL
SCALE: AS NOTED
DATE: JUNE 12, 2018

NO.	DESCRIPTION	REVISIONS	
		DATE	
1	REVISE PER PEER REVIEW	10/2/18	

SITE PLAN OF LAND - PARISH COMMON
IN
GEORGETOWN, MASSACHUSETTS
66 PARISH ROAD
(ASSESSOR'S MAP 20, LOT 1)
PREPARED FOR:
LIVINGSTONE DEVELOPMENT CORPORATION

COVER SHEET
DRAWING NO.
C-1

- ABUTTERS
- ① MAP R-19 PARCEL 2
N/F
WILLIAM A. &
LAURIE J. BOUCHARD
- ② MAP R-19 PARCEL 15
N/F
JANE C. KERR &
LUIS F. FERNANDEZ
- ③ MAP R-19 PARCEL 20
N/F
FRANK M. & SUN C. PUOPOLO
- ④ MAP R-19 PARCEL 1
N/F
LARKIN ROAD REALTY TRUST,
ALLEN P. ROGERS JR., TRUSTEE
- ⑤ MAP R-19 PARCEL 1A
N/F
ALLEN P. ROGERS III
- ⑥ MAP R-18 PARCEL 26A
N/F
SUSAN A. CAMPBELL &
BERNADETTE M. FORTI

NOTES:

OWNER:
PARISH ROAD REALTY TRUST
JOSEPH & JOHN B. DELORENZO, TRUSTEES
161 ELLIOTT STREET
DANVERS, MA 01923
ASSESSORS MAP 20 LOT 1
DEED BOOK 24162 PAGE 186

WETLANDS:
WETLAND RESOURCE AREAS SHOWN
HEREON WERE DELINEATED BY WETLANDS
PRESERVATION, INC., AS MODIFIED AND
APPROVED BY THE GEORGETOWN
CONSERVATION COMMISSION UNDER THE
ORDER OF RESOURCE AREA DELINEATION
WITH DEP FILE No. 161-0825.

AREA:
TOTAL PARCEL AREA=40.24± AC.
OPEN SPACE AREA=33.48± AC.
DEVELOPMENT PARCEL AREA=6.76± AC.

INTERSTATE ROUTE 95
COMMONWEALTH OF
MASSACHUSETTS LAYOUT

Y SERIES RIVER
BANK (41-LF)

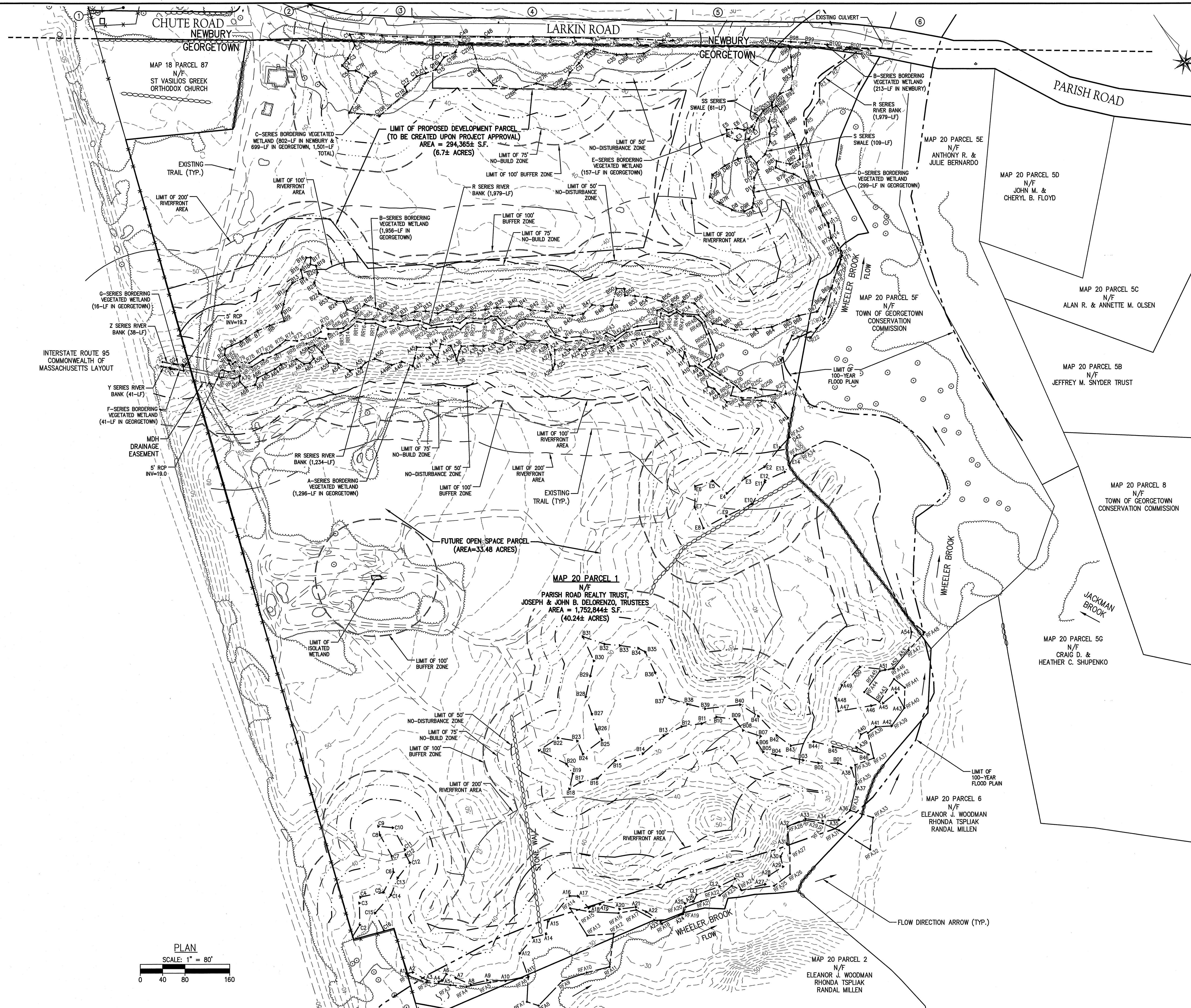
F-SERIES BORDERING
VEGETATED WETLAND
(41-LF IN GEORGETOWN)

MDH
DRAINAGE
EASEMENT

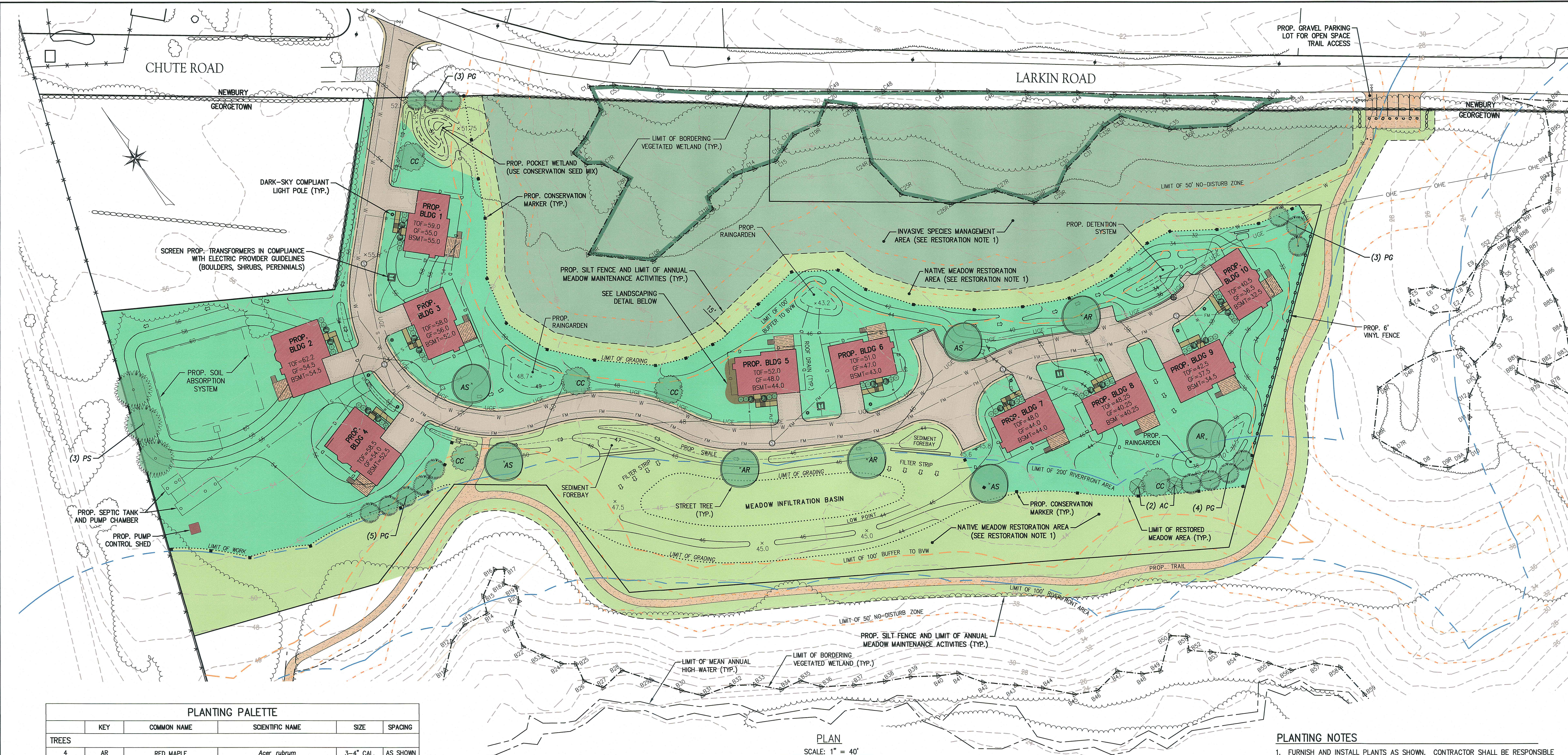
5' RCP
INV=19.0

PLAN
SCALE: 1" = 80'

0 40 80 160

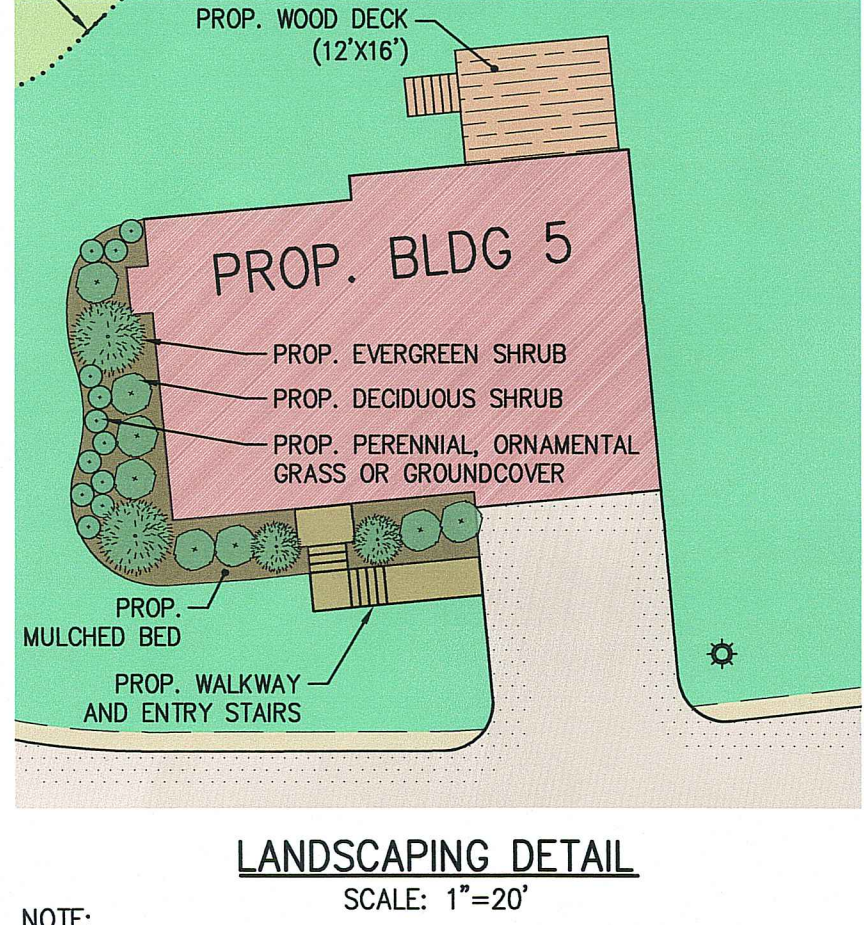
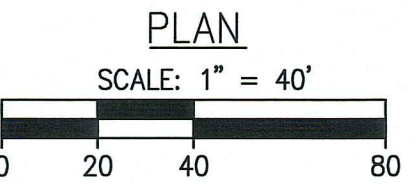


REVISIONS		DESCRIPTION	DATE
NO.	1	REVISE PER PEER REVIEW	10/2/18



PLANTING PALETTE					
KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	SPACING	
TREES					
4	AR	RED MAPLE	<i>Acer rubrum</i>	3-4" CAL.	AS SHOWN
4	AS	SUGAR MAPLE	<i>Acer saccharum</i>	3-4" CAL.	AS SHOWN
5	CC	AMERICAN HORNBEEAM	<i>Carpinus caroliniana</i>	3" CAL.	AS SHOWN
3	PS	WHITE PINE	<i>Pinus strobus</i>	3-4" CAL.	AS SHOWN
15	PG	WHITE SPRUCE	<i>Picea glauca</i>	3-4" CAL.	AS SHOWN
2	AC	SHADBLow SERVICEBERRY	<i>Amelanchier canadensis</i>	6" MIN. HT.	15' O.C.
SHRUBS					
		OAKLEAF HYDRANGEA	<i>Hydrangea quercifolia</i>	#5	5' O.C.
		BIGLEAF HYDRANGEA	<i>Hydrangea macrophylla</i>	#5	5' O.C.
		CHIONODES RHODODENDRON	<i>Rhododendron 'Chionoides'</i>	24-30" HT.	6' O.C.
		MOUNTAIN LAUREL	<i>Kalmia latifolia</i>	24-30" HT.	5' O.C.
		CAP YEW	<i>Taxus cuspidata 'Capitata'</i>	30-36" HT.	5' O.C.
		BRIDAL WREATH SPIREA	<i>Spiraea x vanhouttei</i>	24-30" HT.	6' O.C.
		BLACK CHOKEBERRY	<i>Aronia melanocarpa</i>	24-30" HT.	4' O.C.
		INKBERRY	<i>Ilex glabra</i>	24-30" HT.	4' O.C.
		REDSIER DOGWOOD	<i>Cornus sericea</i>	24-30" HT.	4' O.C.
		HIGHBUSH BLUEBERRY	<i>Vaccinium corymbosum</i>	24-30" HT.	4' O.C.
PERENNIALS, GROUNDCOVERS AND ORNAMENTAL GRASSES					
		CREeping JUNIPER	<i>Juniperus horizontalis</i>	#2	3' O.C.
		BUNCHBERRY	<i>Cornus canadensis</i>	#1	12" O.C.
		HOSTA	<i>Hosta spp.</i>	#1	24" O.C.
		WALKER'S LOW CATMINT	<i>Napeta x faassenii 'Walker's Low'</i>	#1	18" O.C.
		BIGLEAF LUPINE	<i>Lupinus perennis</i>	#1	18" O.C.
		PURPLE CONEFLOWER	<i>Echinacea purpurea</i>	#1	18" O.C.
		BLACK-EYED SUSAN	<i>Rudbeckia fulgida</i>	#1	18" O.C.
		HAY SCENTED FERN	<i>Dennstaedtia punctilobula</i>	#1	18" O.C.
		SHENANDOAH SWITCH GRASS	<i>Panicum virgatum 'Shenandoah'</i>	#2	24" O.C.
		FOUNTAIN GRASS	<i>Pennisetum alopecuroides</i>	#1	24" O.C.

PLANTING LEGEND		COLOR LEGEND	
	DECIDUOUS TREE		INVASIVE SPECIES MANAGEMENT AREA
	EVERGREEN TREE		NATIVE MEADOW (SEE RESTORATION NOTE 1)
	SMALL DECIDUOUS TREE		PROPOSED RESIDENTIAL LAWN AREA
	DECIDUOUS SHRUBS		PROPOSED TRAIL AND GRAVEL PARKING AREA
	EVERGREEN SHRUBS		PROPOSED BITUMINOUS CONCRETE ACCESS DRIVE
	PERENNIALS, GROUNDCOVERS AND ORNAMENTAL GRASSES		



NOTE: EACH INDIVIDUAL DWELLING WILL BE LANDSCAPED IN A MANNER SIMILAR TO THAT SHOWN ABOVE. THE PLANTING PALETTE INCLUDES APPROPRIATE PLANT SELECTIONS FOR INSTALLING AROUND FOUNDATIONS IN VARYING DEGREES OF SUN EXPOSURE OR MOISTURE CONDITIONS. SUBSTITUTIONS FOR FOUNDATION PLANTINGS ARE PERMISSIBLE AT THE DISCRETION OF THE OWNER AND LANDSCAPE CONTRACTOR.

- RESTORATION NOTES:**
- REFER TO RESTORATION NARRATIVE AND FIGURES PREPARED BY DEROSA ENVIRONMENTAL CONSULTING, INC. FOR DETAILS REGARDING MEADOW RESTORATION AND INVASIVE SPECIES MANAGEMENT ACTIVITIES.
 - SEED MIX SPECIFICATIONS ARE PROVIDED IN NARRATIVE PREPARED BY DEROSA ENVIRONMENTAL CONSULTING, INC.

- PLANTING NOTES**
- FURNISH AND INSTALL PLANTS AS SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR QUANTITY OF SHRUBS GRAPHICALLY SHOWN ON PLANS. IF THERE IS A DISCREPANCY BETWEEN PLANT LIST QUANTITIES AND GRAPHICS, THE GRAPHIC SHALL TAKE PRECEDENCE.
 - PRIOR TO THE START OF EXCAVATION FOR THE PROJECT BOTH ON AND OF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED A DIGSAFE NUMBER INDICATING THAT EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
 - CONTRACTOR SHALL BEGIN 90 DAY MAINTENANCE PERIOD IMMEDIATELY UPON PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS AND STRUCTURES.
 - MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
 - PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
 - PLANT MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
 - MULCH FOR PLANTED AREAS TO BE ASHD PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
 - PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. USE OF PEAT MOSS IS PROHIBITED.
 - THE LANDSCAPE CONTRACTOR SHALL GUARANTEE PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
 - PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE PROJECT BOTANIST OR LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
 - PROJECT BOTANIST OR LANDSCAPE ARCHITECT TO FLAG TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
 - AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED WITH TOPSOIL TO A MINIMUM DEPTH OF 6", AND SEEDED WITH A SEED MIX APPROVED BY THE PROJECT BOTANIST OR LANDSCAPE ARCHITECT.
 - PROVIDE AUTOMATIC IRRIGATION SYSTEM FOR PLANTINGS AND LAWN AREAS UNLESS OTHERWISE NOTED. SUBMIT DESIGN PLANS AND PRODUCT LITERATURE PER THE SPECIFICATIONS.
 - NO PLANTING SHALL BE INSTALLED BEFORE ACCEPTANCE OF ROUGH GRADING.
 - PLANTS TO BE THOROUGHLY WATERED AFTER INSTALLATION, AT LEAST TWICE WITHIN THE FIRST 24 HOURS.

The Morin-Cameron GROUP, INC.
CIVIL ENGINEERS | ENVIRONMENTAL CONSULTANTS
LAND SURVEYORS | LAND USE PLANNERS
P. 978.777.5886 F. 978.774.5488 W. WWW.MORIN-CAMERON.COM

PROGRESS SET

ISSUED 10/2/18

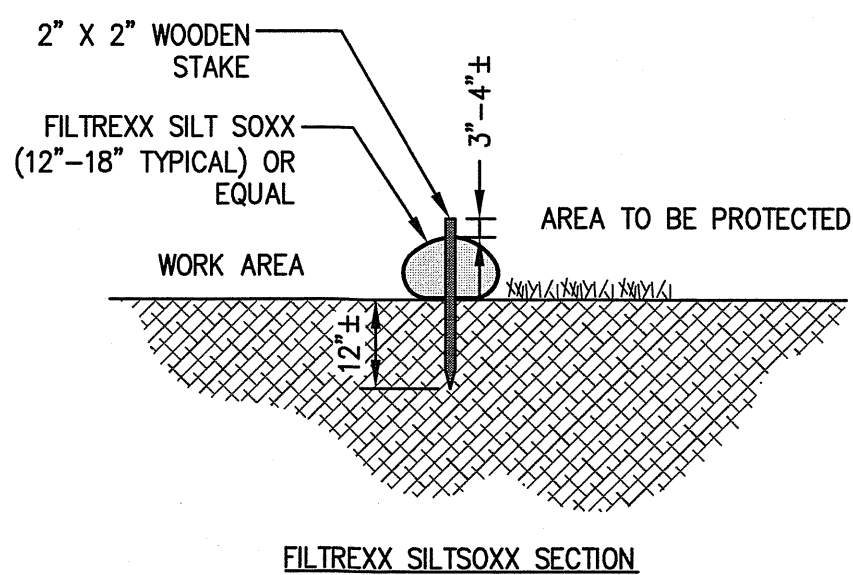
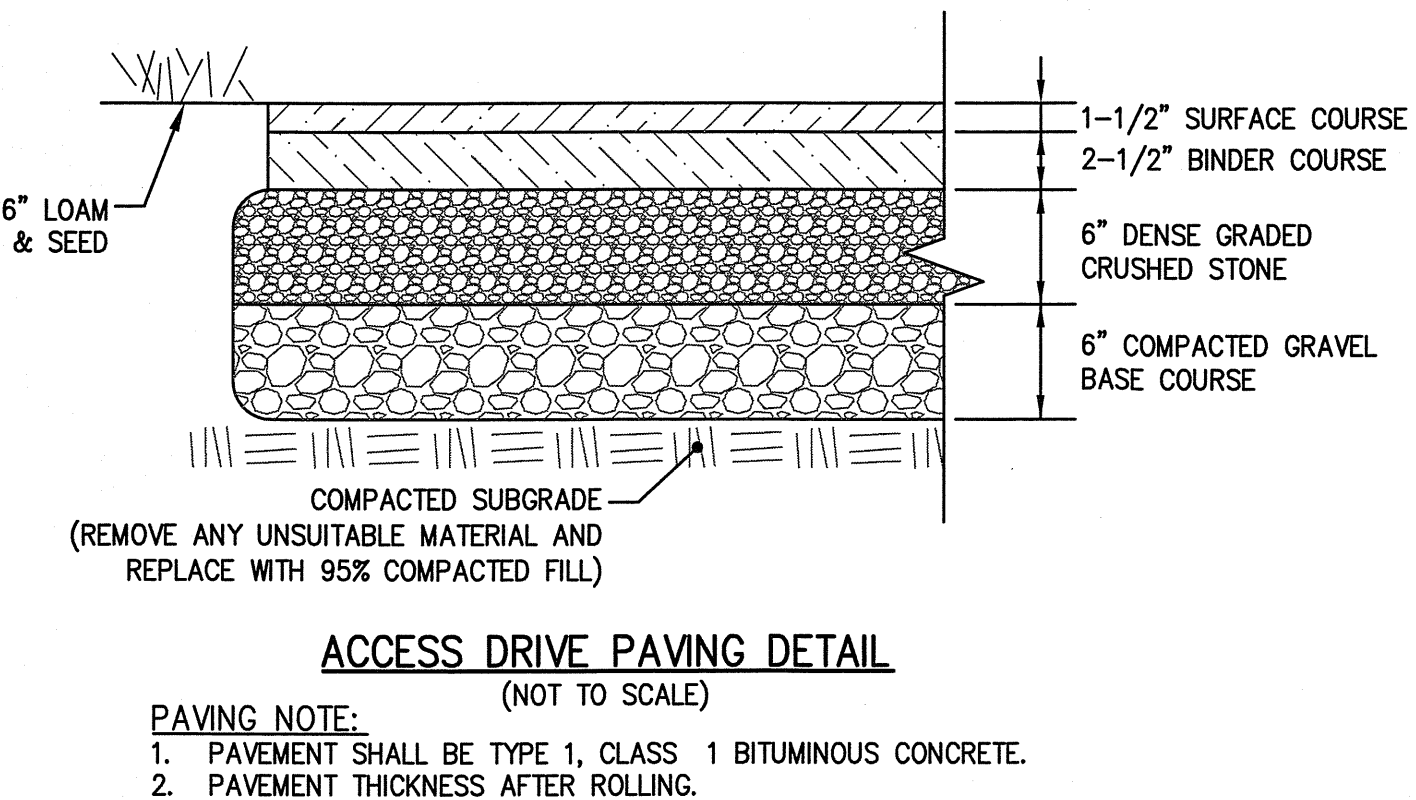
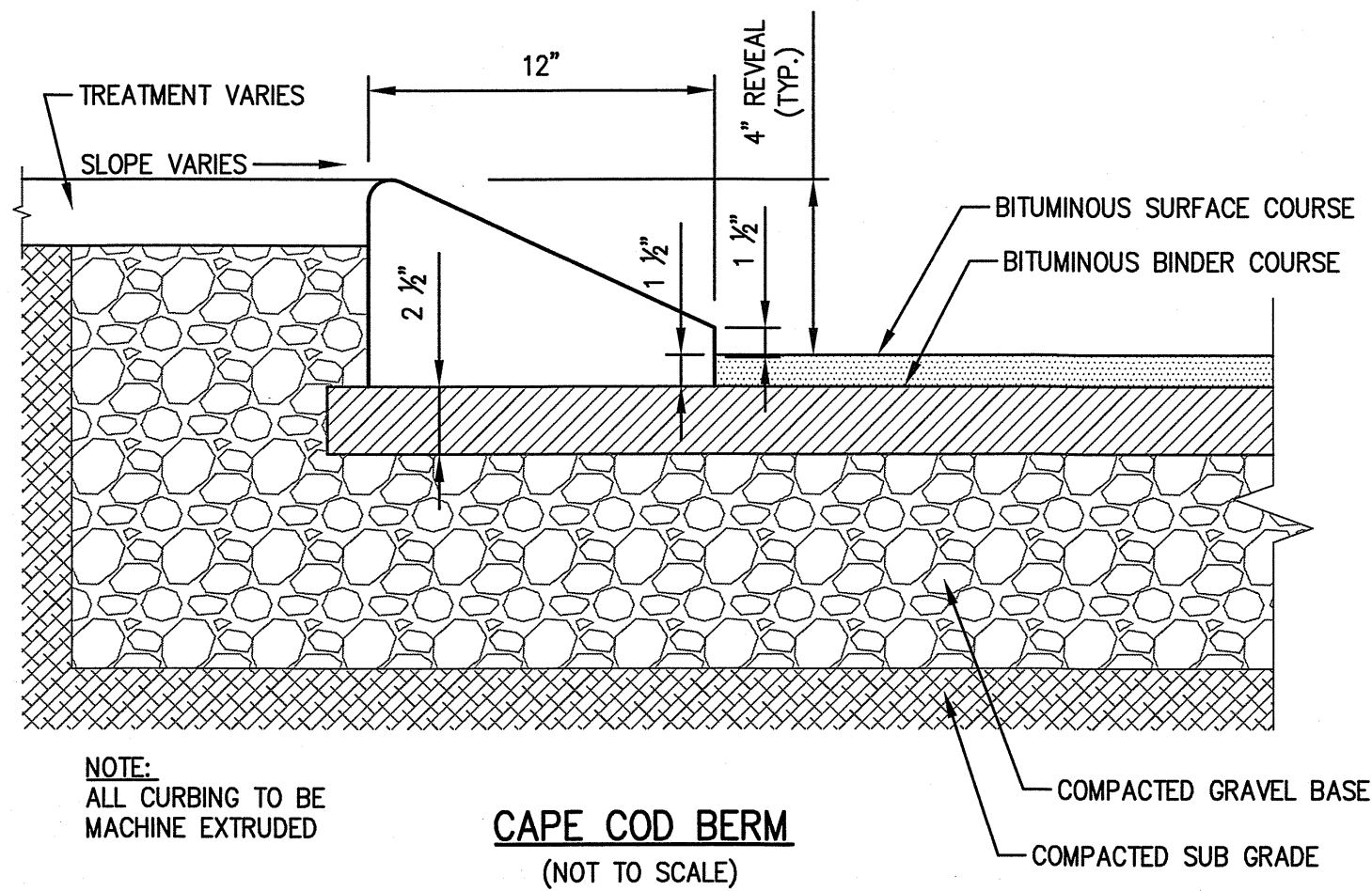
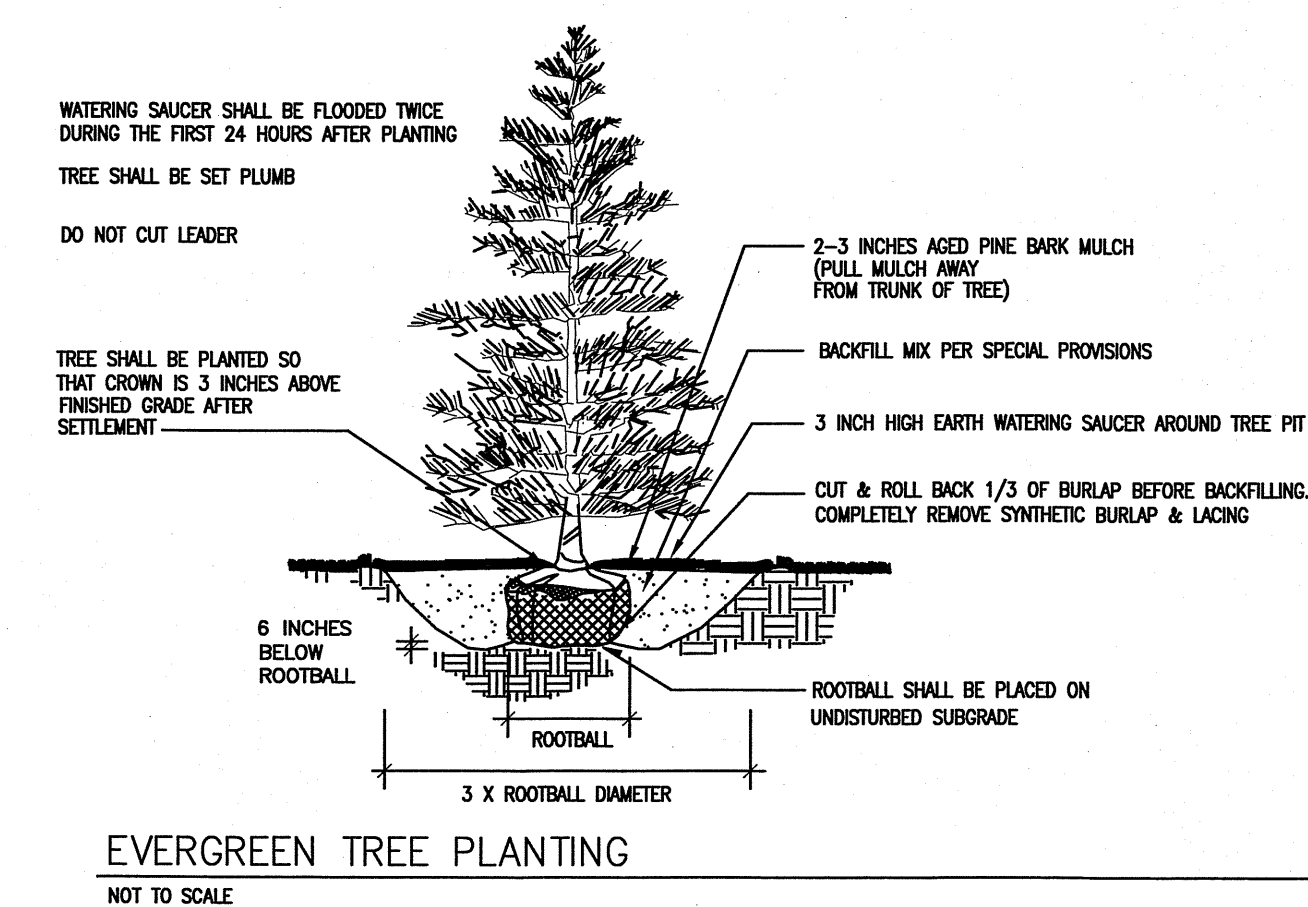
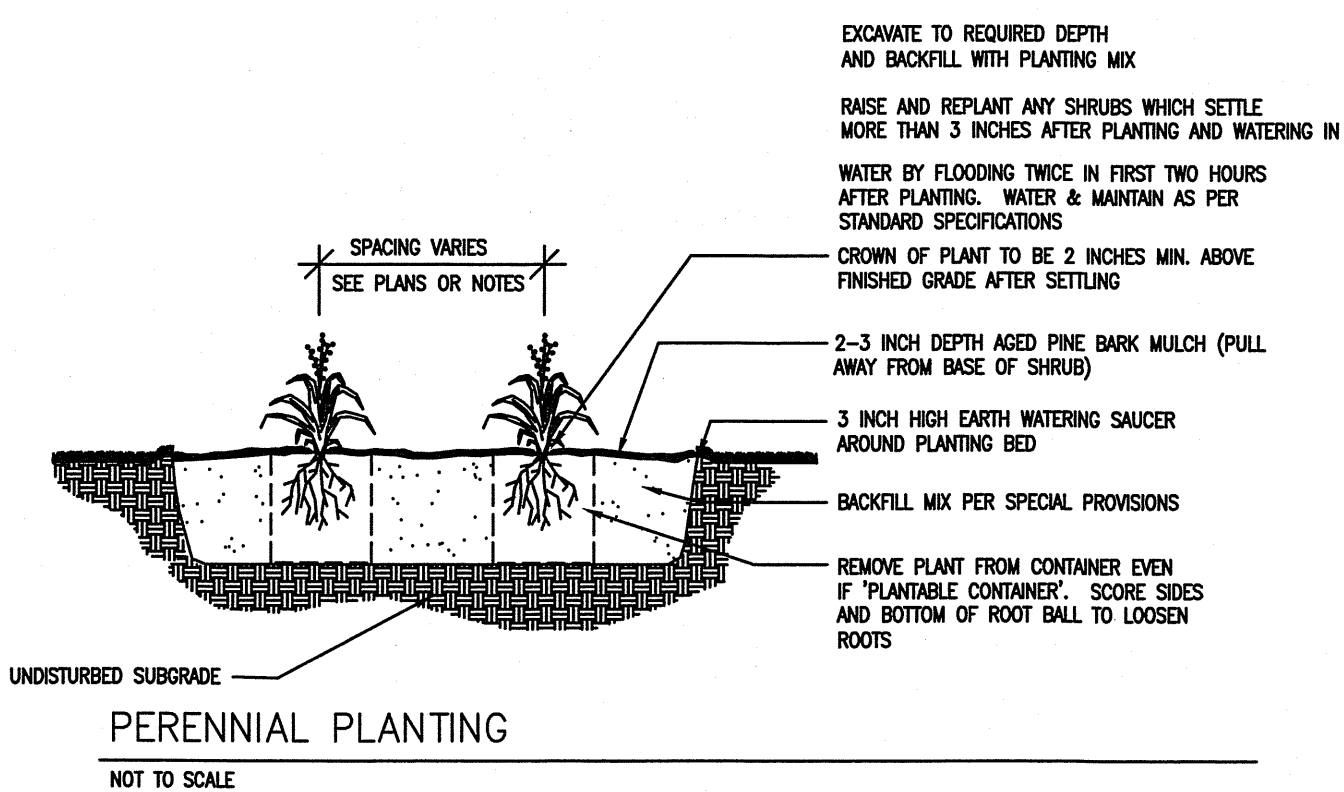
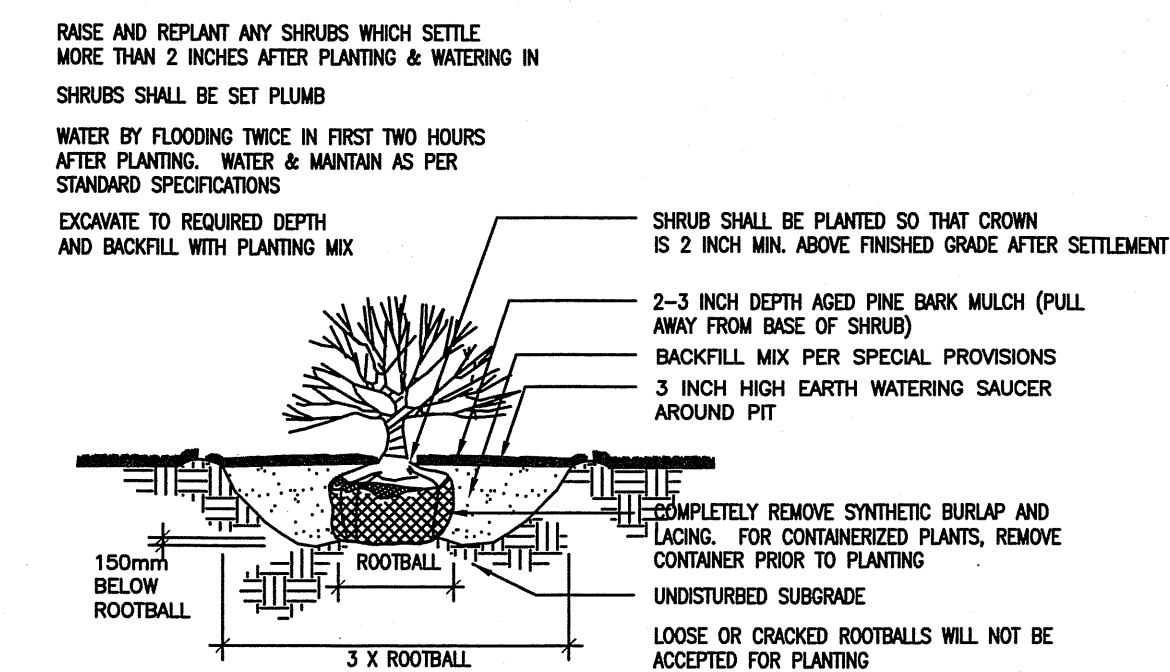
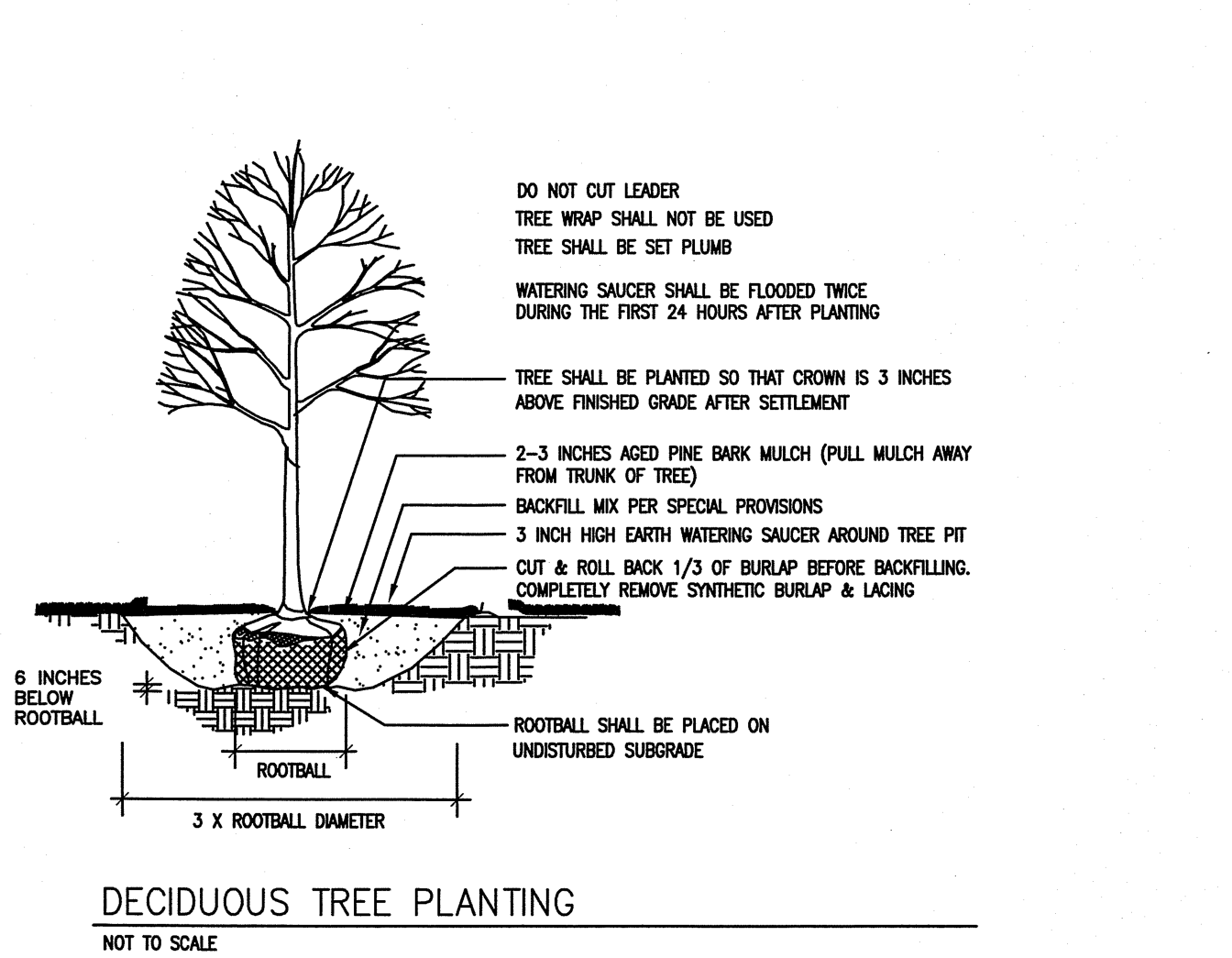
SURVEY BY: CSI
DRAFTED BY: DJP/MCL
CHECKED BY: JMM/MCL
APPROVED BY: MCL
SCALE: AS NOTED
DATE: JUNE 12, 2018

REVISIONS		DATE
NO.	DESCRIPTION	
1	REVISE PER PEER REVIEW	10/2/18

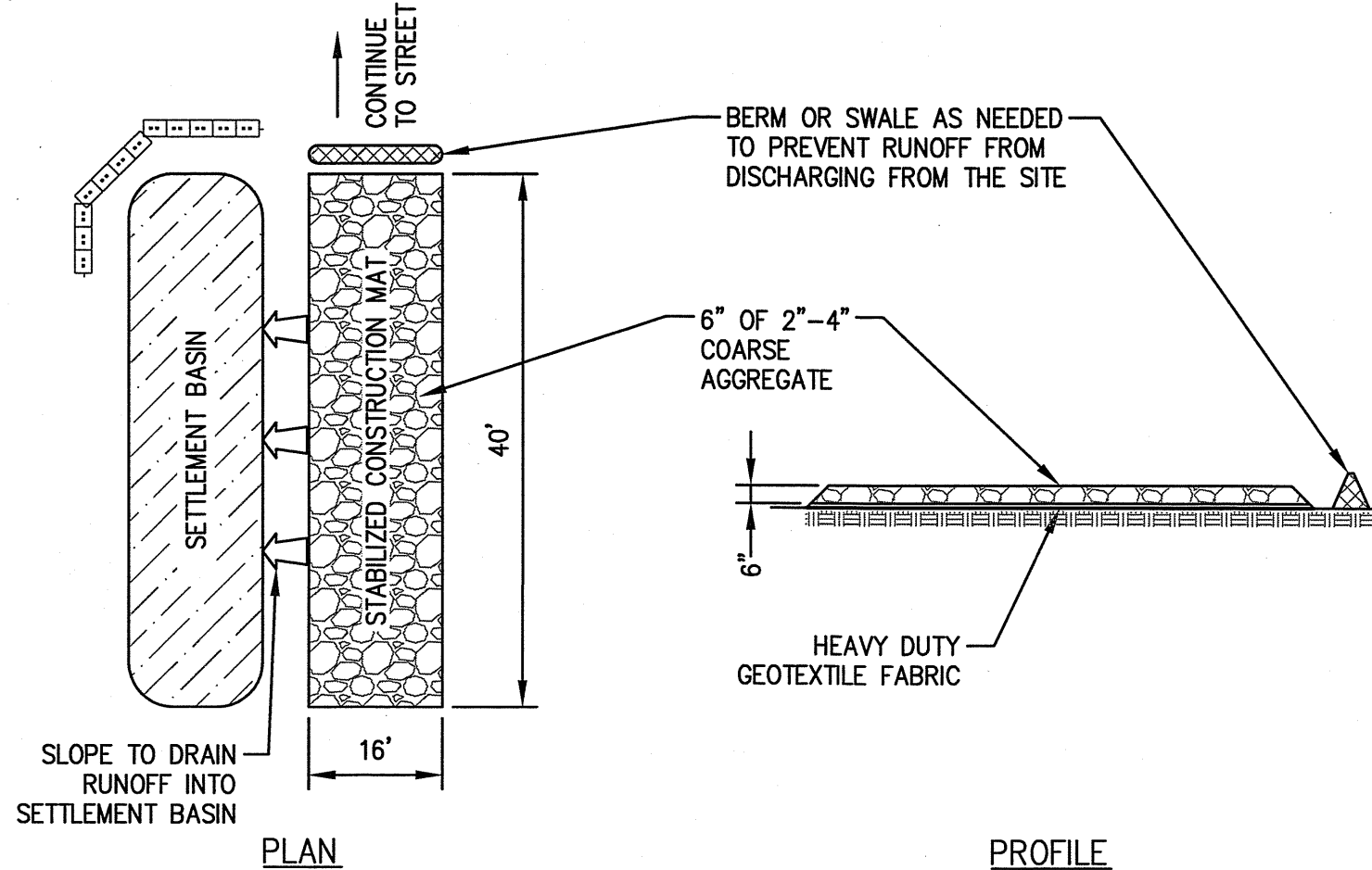
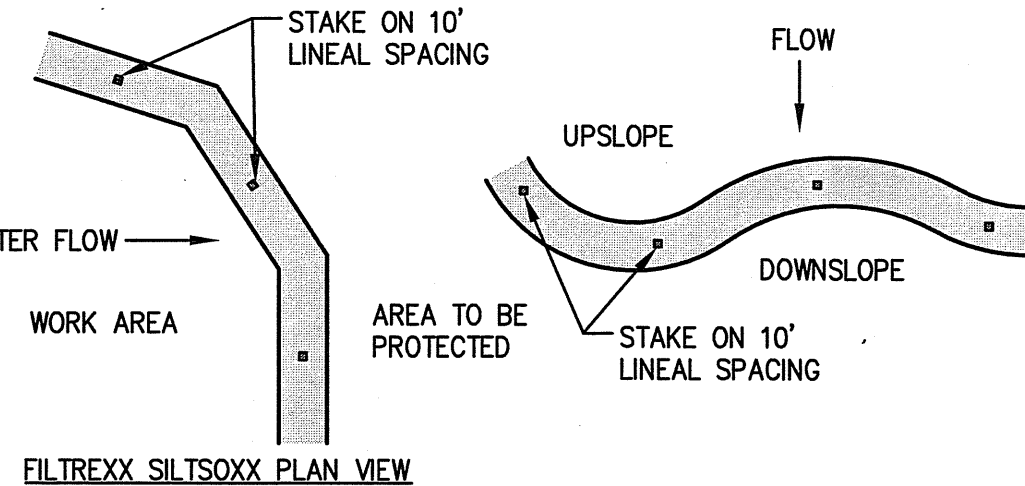
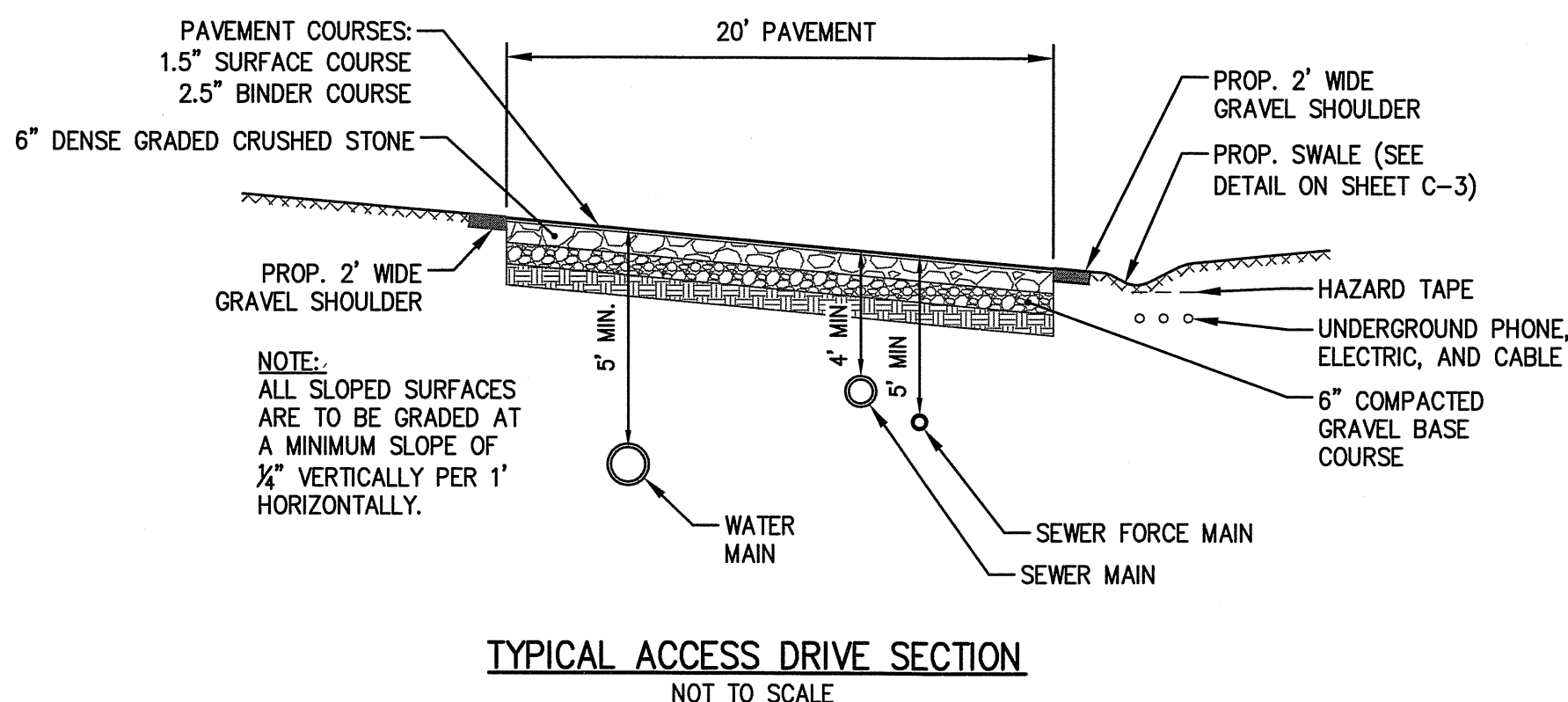
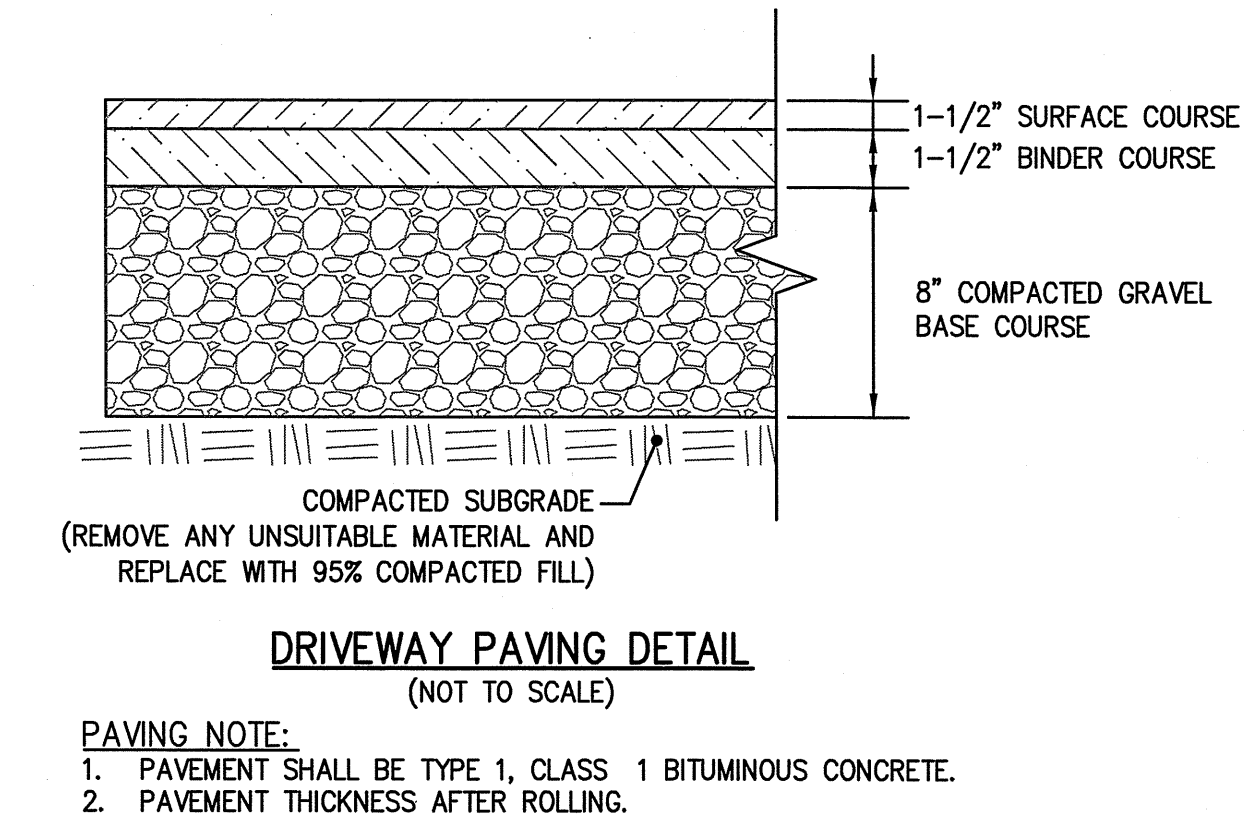
SITE PLAN OF LAND - PARISH COMMON
GEORGETOWN, MASSACHUSETTS
66 PARISH ROAD
(ASSESSOR'S MAP 20, LOT 1)
LIVINGSTONE DEVELOPMENT CORPORATION

LANDSCAPE PLAN
DRAWING NO. **L-1**

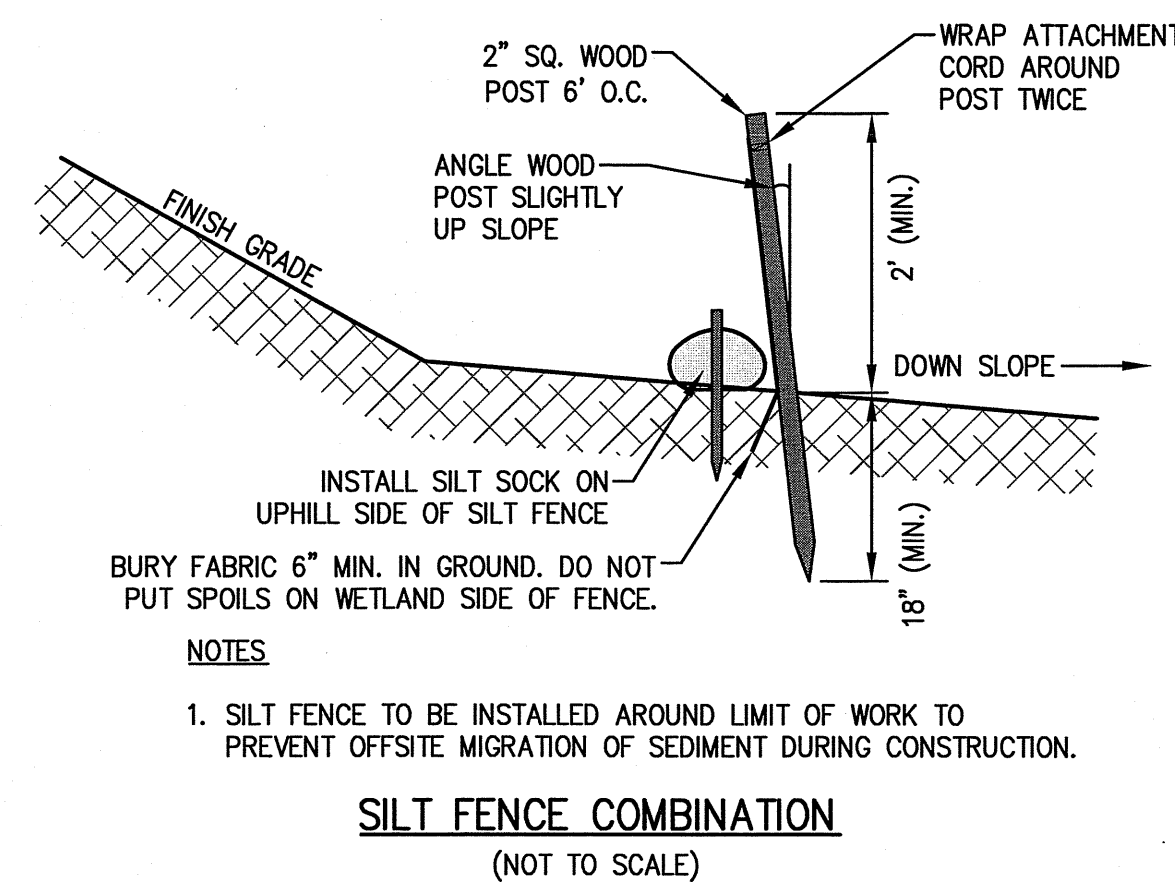
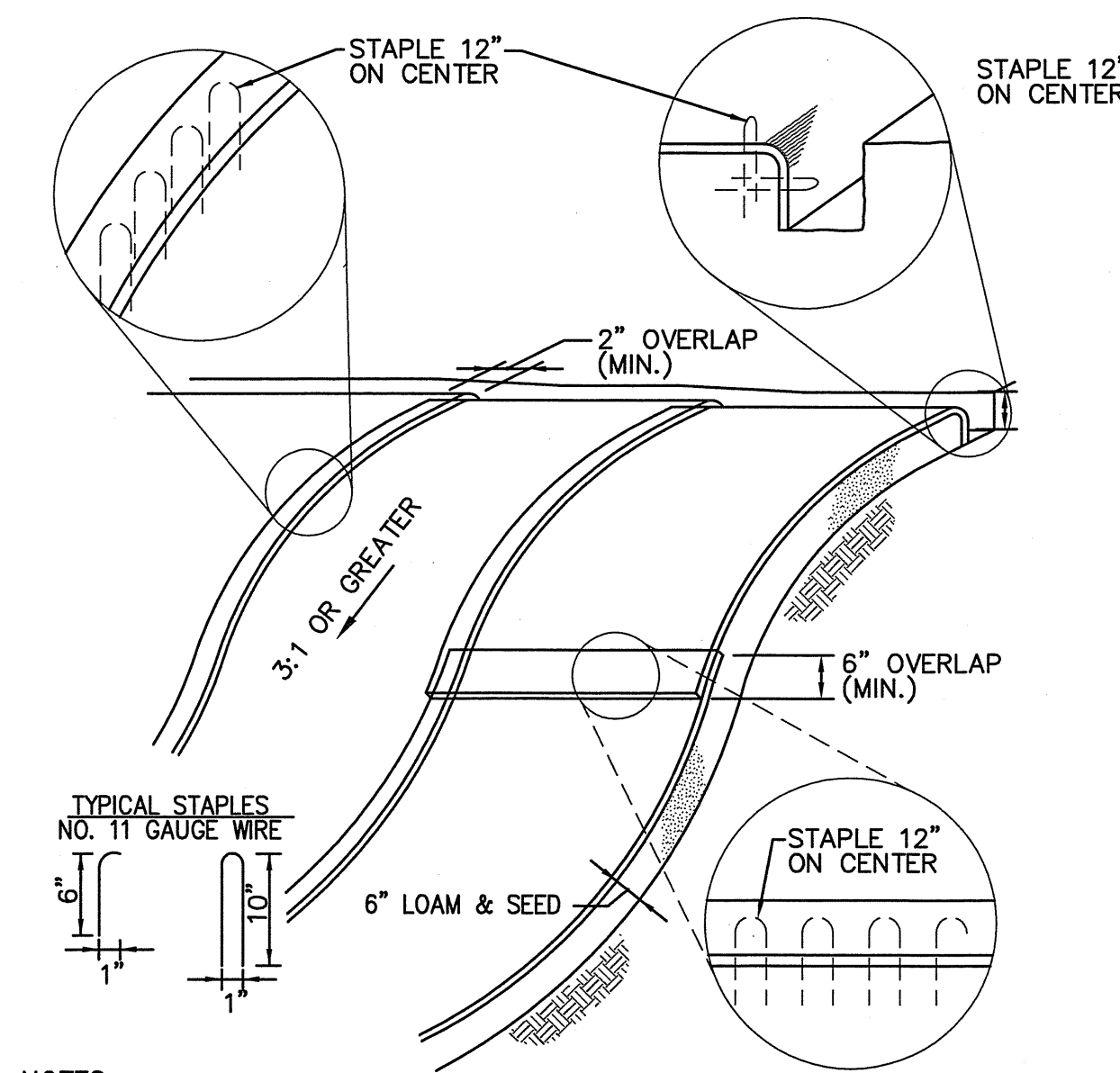
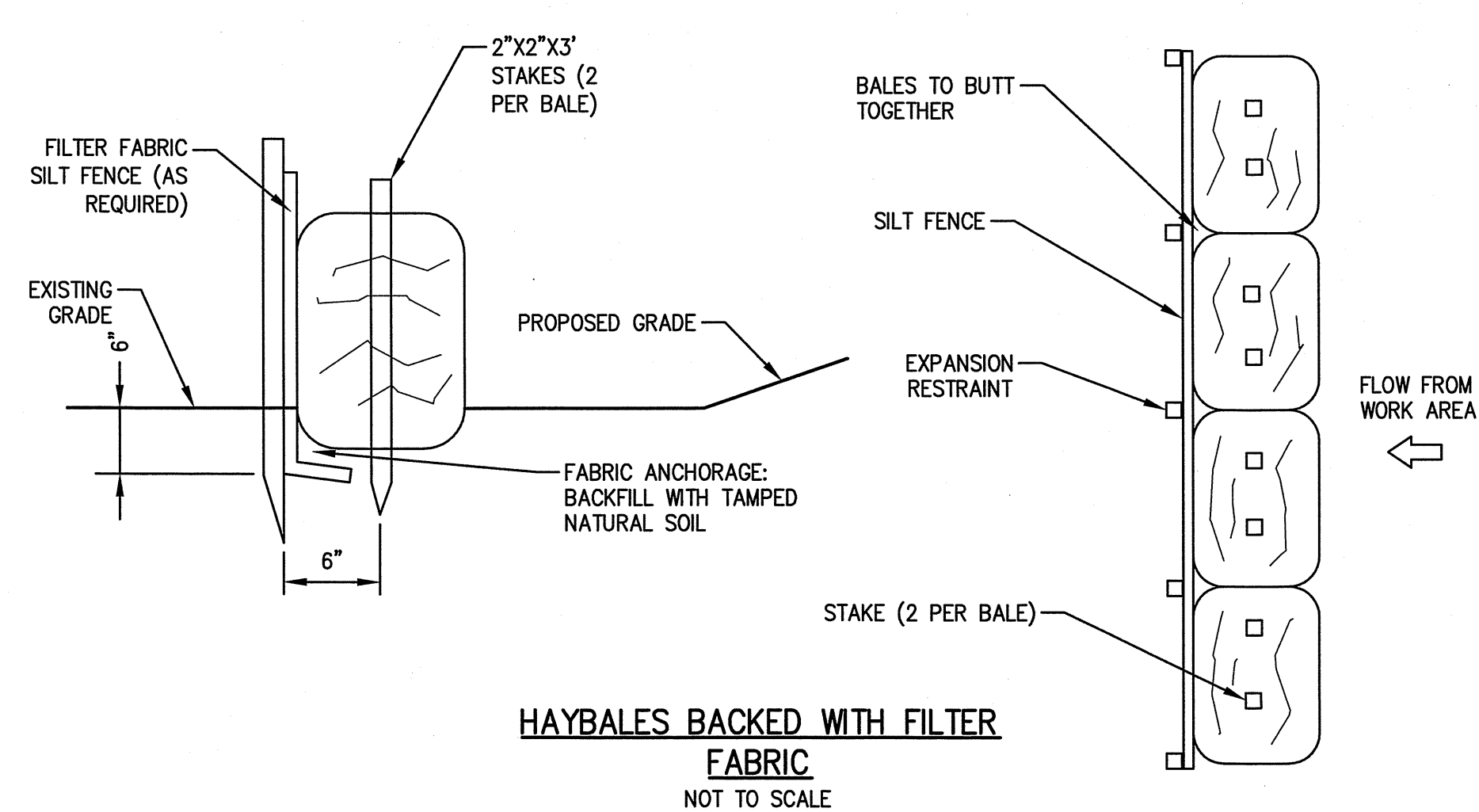
PROJ. #15001



SILT SOCK
(NOT TO SCALE)



STABILIZED CONSTRUCTION MAT DETAIL
(NOT TO SCALE)



The

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PROGRESS SET

ISSUED 10/2/18

SURVEY BY: CSI

DRAFTED BY: DJP/MCL

CHECKED BY: MCL/PGC

APPROVED BY: MCL

SCALE: AS NOTED

DATE: JUNE 12, 2018

REVISIONS	
NO.	DESCRIPTION
1	REVISE PER PEER REVIEW

SITE PLAN OF LAND - PARISH COMMON

GEORGETOWN, MASSACHUSETTS

66 PARISH ROAD

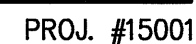
(ASSESSOR'S MAP 20, LOT 1)

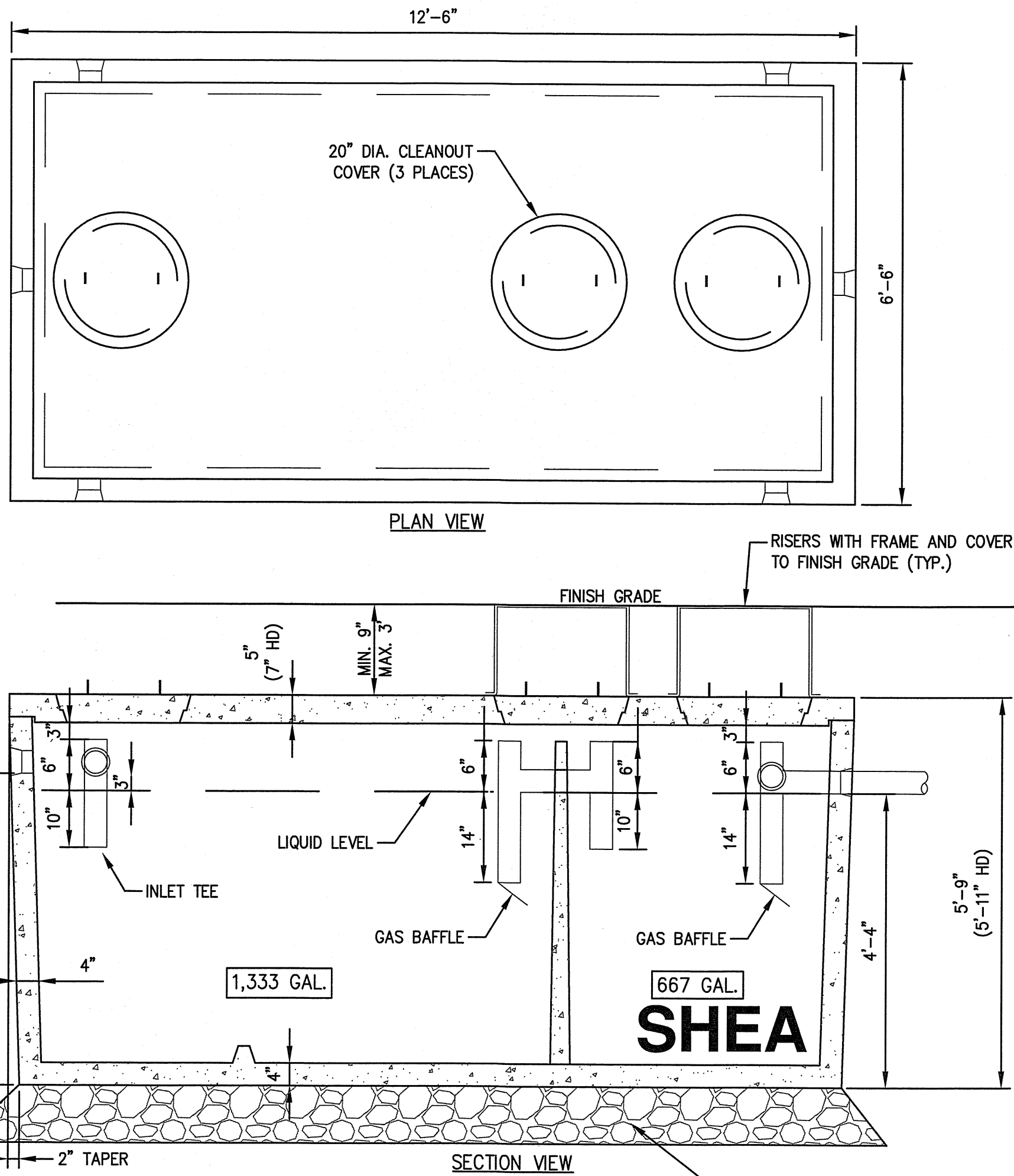
PREPARED FOR:
LIVINGSTONE DEVELOPMENT CORPORATION

CONSTRUCTION DETAILS I

D-1

PROJ. #15001



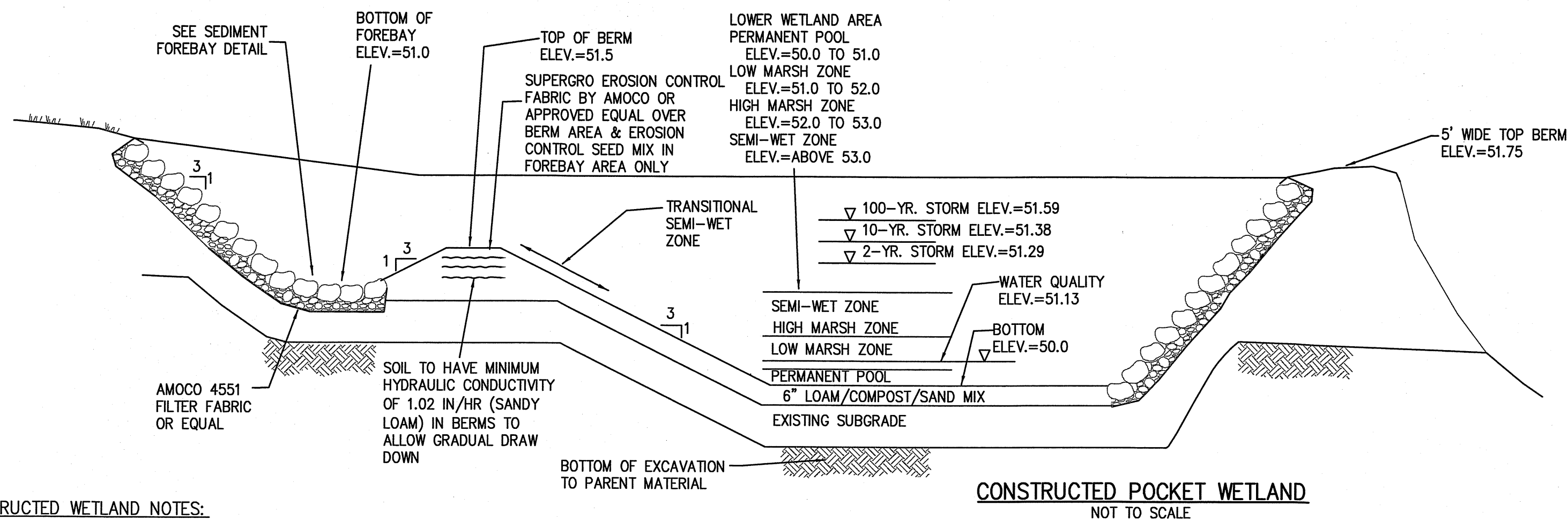


NOTES:

1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS. FOR SEPTIC TANKS.
3. ALL REINFORCEMENT PER ASTM C1227.
4. TEES AND GAS BAFFLE SOLD SEPARATELY.
5. TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
6. ALSO AVAILABLE IN H-20 LOADING.

2,000 GALLON (MONOLITHIC) SEPTIC TANK (NOT TO SCALE)

SHEA ITEM NO.	WEIGHT
ITEM NO.	
TK M20002C	19,150#



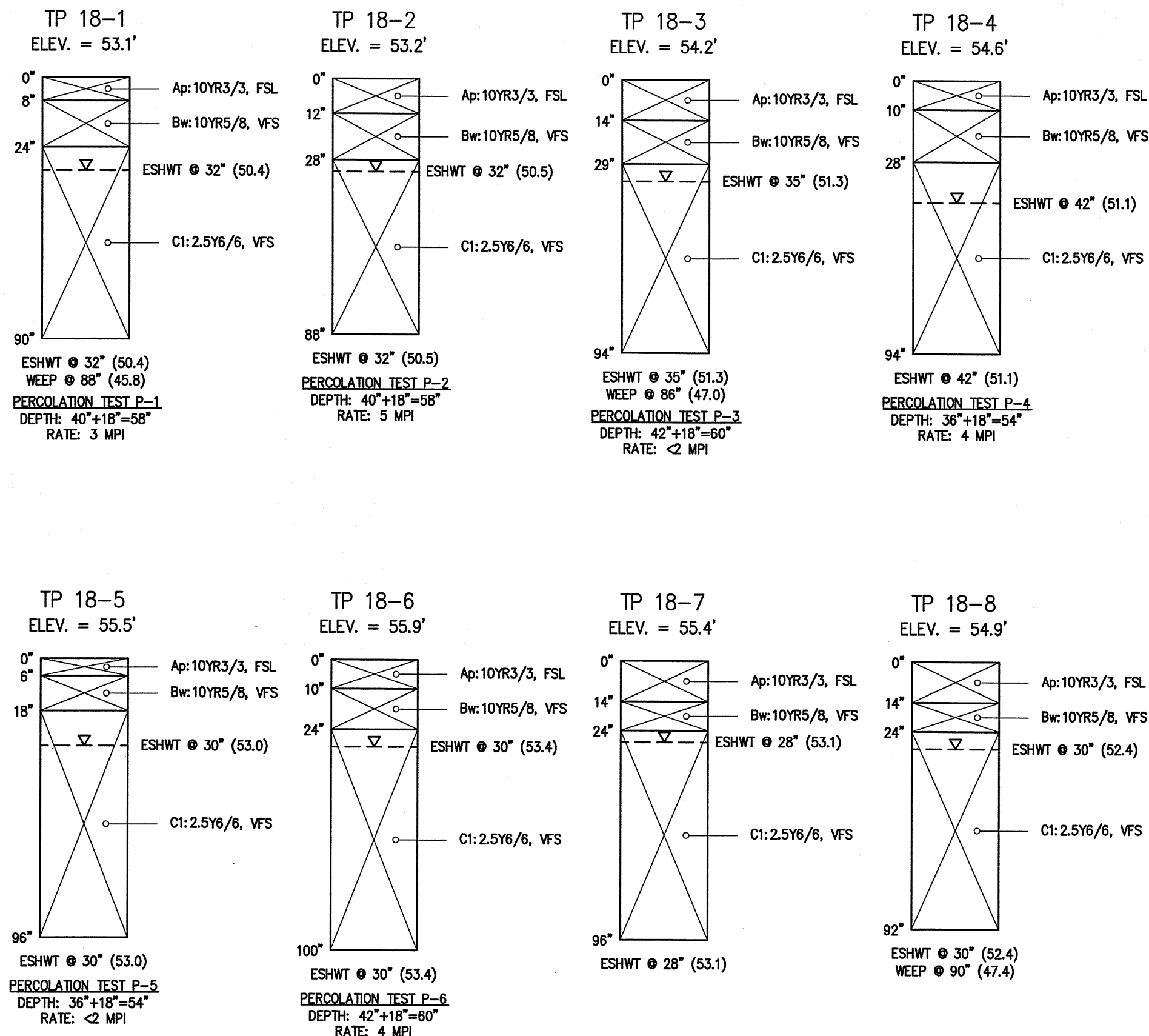
CONSTRUCTED POCKET WETLAND (NOT TO SCALE)

CONSTRUCTED WETLAND NOTES:

1. SEE LANDSCAPE PLAN FOR PLANT LOCATIONS, QUANTITIES AND SPECIES AND LOAM SPECIFICATION.
2. SEE DETAIL ON SHEET 11 OF 11 FOR CONSTRUCTED WETLAND GRADING.
3. CONTRACTOR SHALL NOT DISCHARGE ANY CONSTRUCTION STORMWATER TO CONSTRUCTED WETLAND.
4. ALL AREAS WITHIN THE CONSTRUCTED WETLAND SHALL BE FULLY STABILIZED BEFORE BEING PLACED INTO SERVICE.
5. GRADING AND PLANTING OF THE CONSTRUCTED WETLAND SHALL BE OVERSEEN BY THE PROJECT WETLAND SCIENTIST AND DESIGN ENGINEER.
6. CONTRACTOR TO PRESERVE EXISTING TREES AND VEGETATION TO EXTENT PRACTICABLE.
7. SEED AREAS ABOVE WETLAND SYSTEM WITH EROSION CONTROL MIX. MAY REQUIRE ADDITIONAL SLOPE STABILIZATION WHILE VEGETATION BECOMES ESTABLISHED TO PREVENT EROSION.

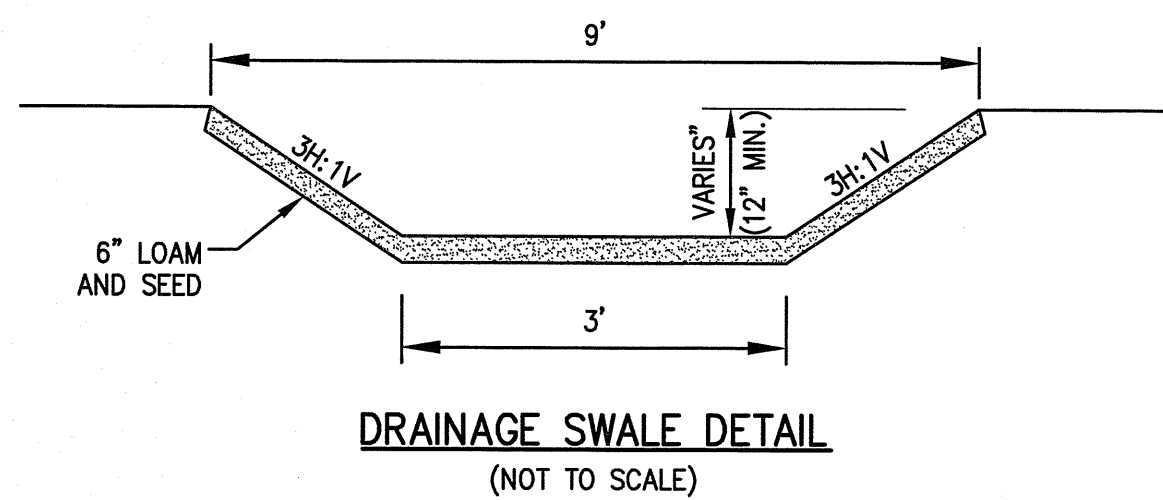
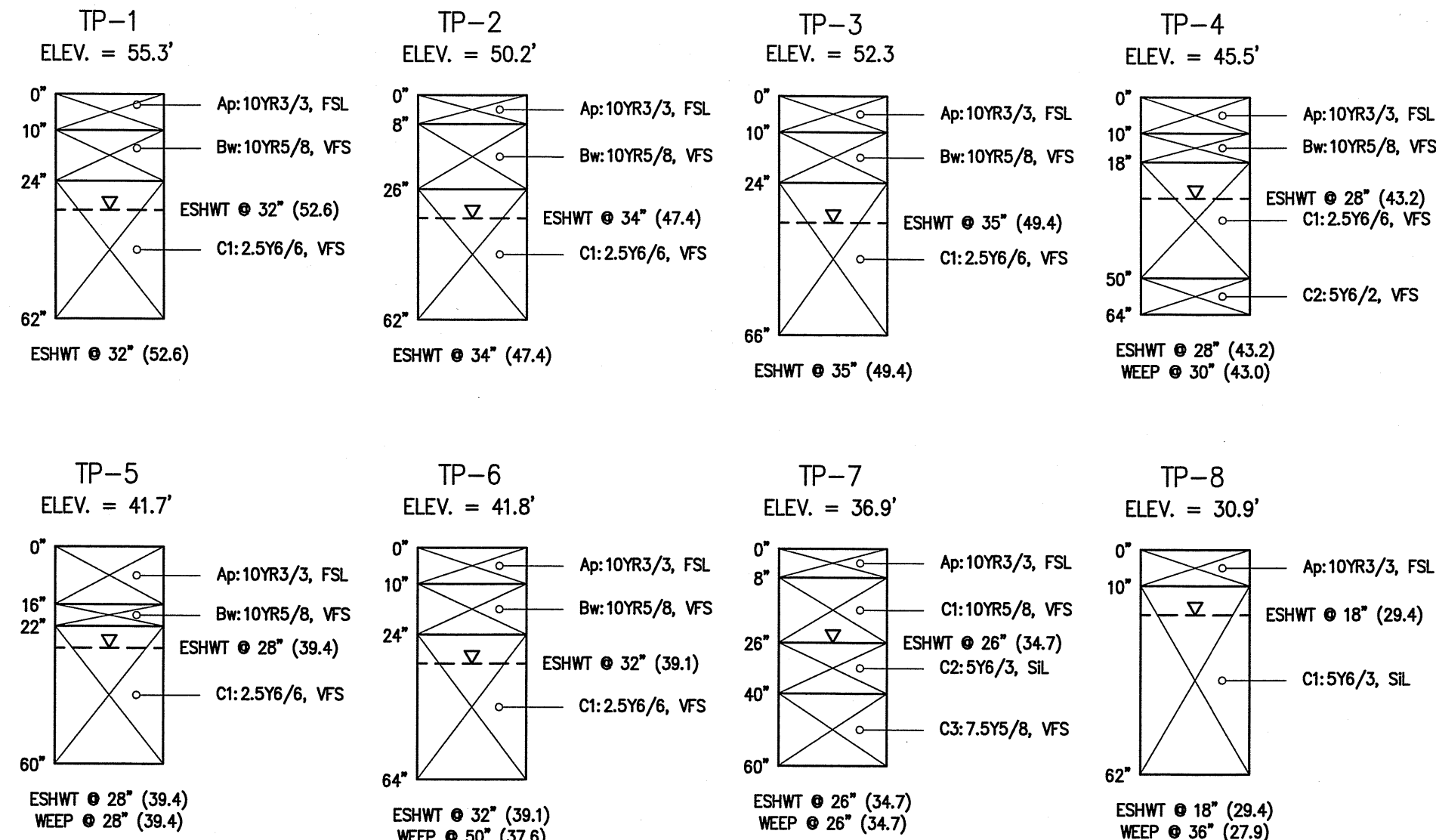
SOIL LOGS

DATE PERFORMED: 5/16/18
PERFORMED BY: WILL SCHKUTA, SE #14030
WITNESSED BY: DEB RODGERS, (GEORGETOWN BOARD OF HEALTH AGENT)

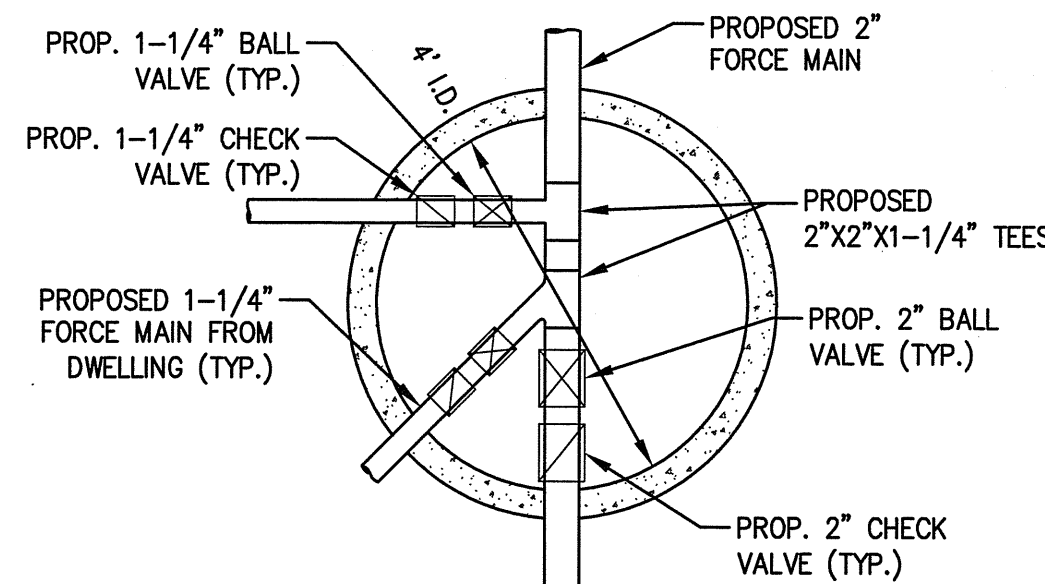


SOIL LOGS

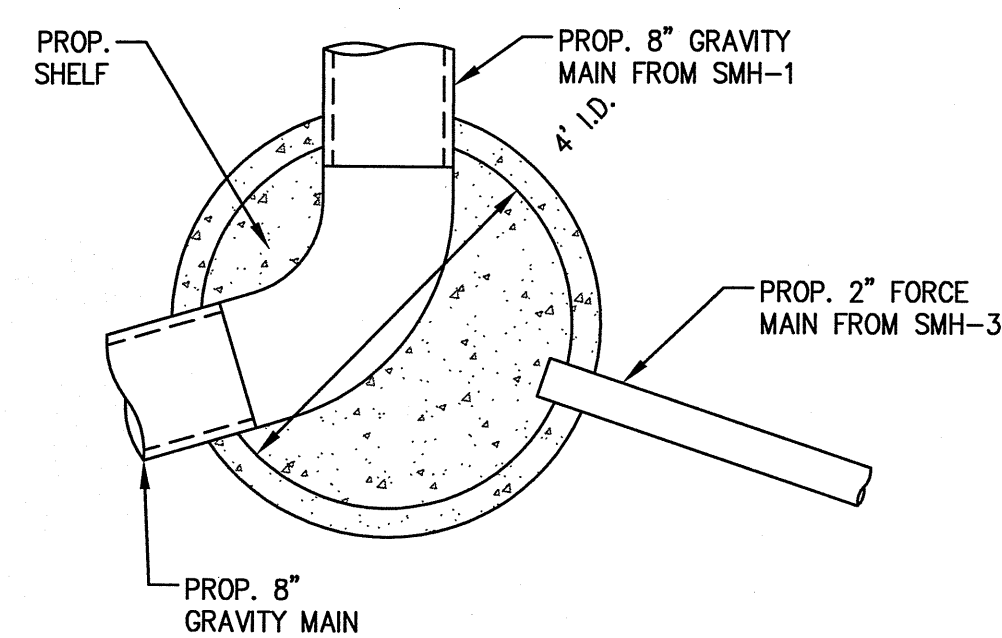
DATE PERFORMED: 5/16/18
PERFORMED BY: WILL SCHKUTA, SE #14030



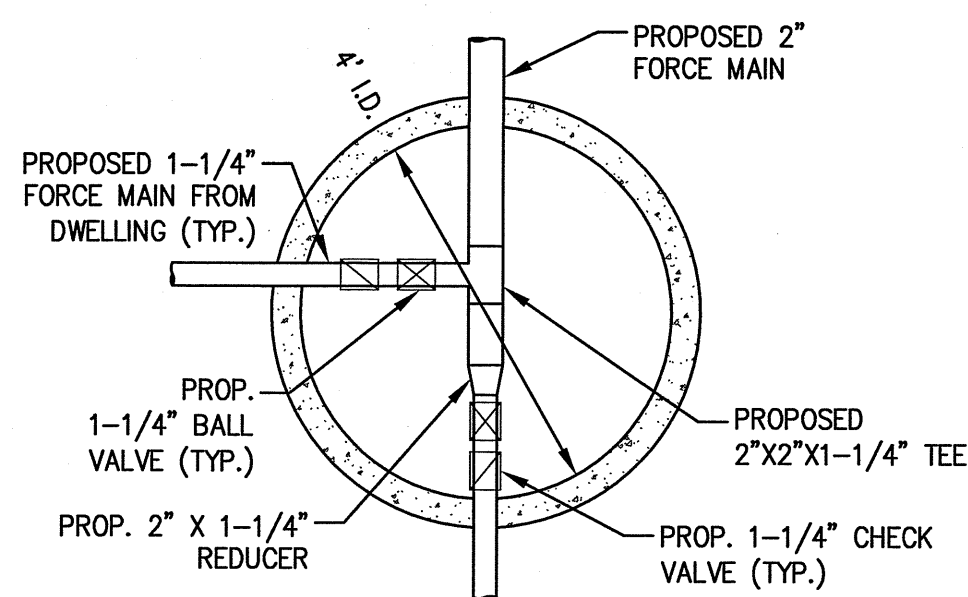
DRAINAGE SWALE DETAIL (NOT TO SCALE)



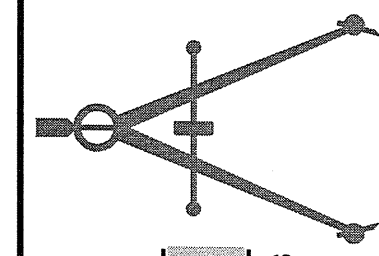
PROPOSED SMH-3/4 (IN-LINE) PLAN VIEW (NOT TO SCALE)



PROPOSED SMH-2 PLAN VIEW (NOT TO SCALE)



PROPOSED SMH-5 (IN-LINE) PLAN VIEW (NOT TO SCALE)



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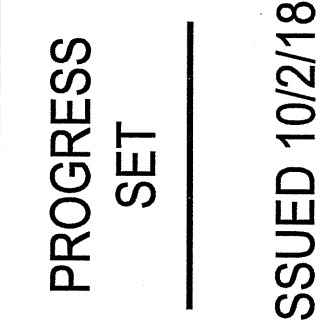
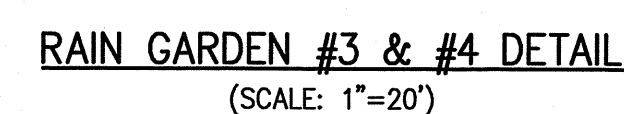
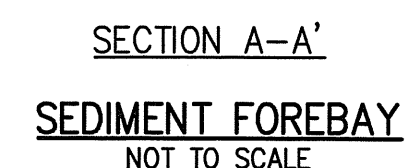
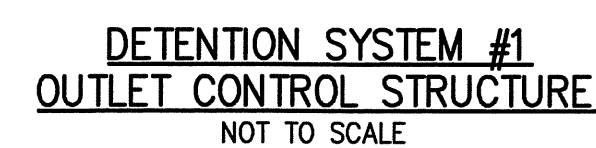
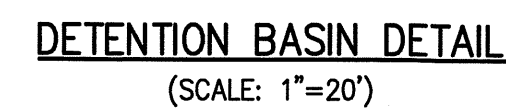
PROGRESS SET
ISSUED 10/2/18

SURVEY BY: CS
DRAFTED BY: DLF/MCL
CHECKED BY: MCL/PCC
APPROVED BY: MCL
SCALE: AS NOTED
DATE: JUNE 12, 2018

NO.	DESCRIPTION	DATE
1	REVISE PER PEER REVIEW	10/2/18

SITE PLAN OF LAND - PARISH COMMON
IN
GEORGETOWN, MASSACHUSETTS
66 PARISH ROAD
(ASSESSOR'S MAP 20, LOT 1)
PREPARED FOR:
LIVINGSTONE DEVELOPMENT CORPORATION

CONSTRUCTION DETAILS III
DRAWING NO. D-3



SITE PLAN OF LAND – PARISH COMMON
IN
GEORGETOWN, MASSACHUSETTS
66 PARISH ROAD
(ASSESSOR'S MAP 20, LOT 1)
PREPARED FOR:
LIVINGSTONE DEVELOPMENT CORPORATION

PROJ. #15001