

SITE PLAN

93 TENNEY STREET

GEORGETOWN, MA 01938

Prepared for

DCD DEVELOPMENT, LLC

93 TENNEY STREET

Georgetown, Massachusetts 01833

ASSESSORS:

MAP
15

LOT
136

PREPARED FOR:

DCD
DEVELOPMENT
LLC

53 Park Avenue
Middleton, Massachusetts 01949

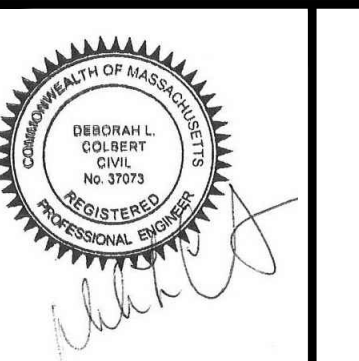
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



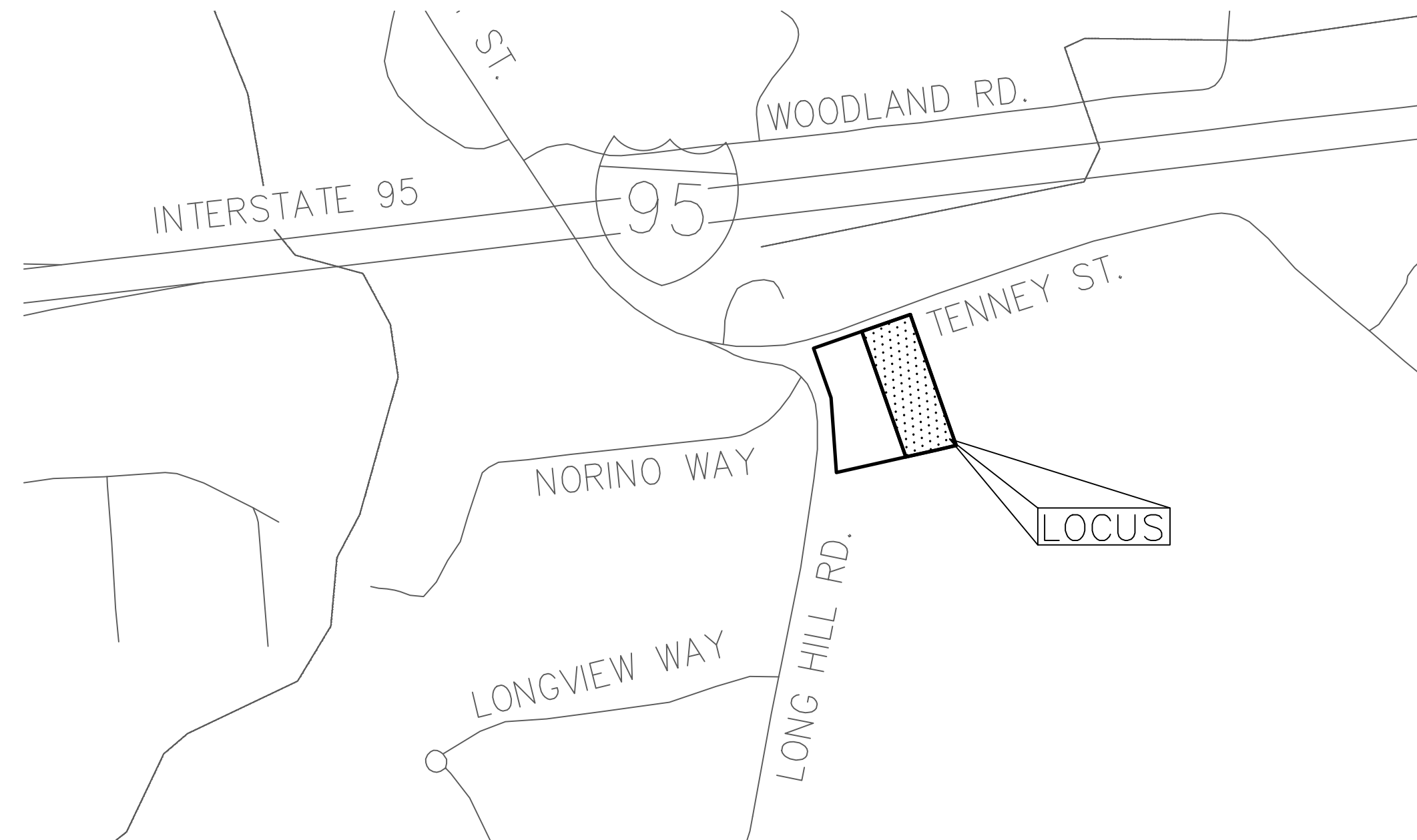
4/7/22

LEGEND	
---	SURFACE CONTOUR
-----	STONE WALL
	EDGE OF PAVEMENT
86.75	CURB WITH TOP AND BOTTOM
86.25	CURB ELEVATION
---	FORCEMAIN
---	SEWER LINE
12"RCP	DRAINLINE WITH PIPE SIZE, MATERIAL
D	& FLOW DIRECTION, CATCHBASIN,
W	MANHOLE & ROUND CATCHBASIN
6"CI	WATER MANHOLE, WATER MAIN
10"DI	WITH SIZE, TEE, GATE VALVE &
OHV	FIRE HYDRANT
E	GAS MAIN WITH SIZE
T	& GATE VALVE
79.3	EXISTING UTILITY POLE WITH DESIGNATION
WFA2	OVERHEAD WIRES AND GUY POLE
100.7	ELECTRIC MANHOLE & UNDERGROUND
SMH	ELECTRIC LINES
DMH	TELEPHONE MANHOLE & UNDERGROUND
CB	TELEPHONE LINES
RCB	LIMIT OF BORDERING VEGETATED WETLAND
D	WITH FLAG NUMBER AND ELEVATION
SIGN	LIMIT OF 50-FOOT NO BUILD ZONE
MANHOLE (UNKNOWN UTILITY)	LIMIT OF 75-FOOT NO DISTURB ZONE
DRILL HOLE	LIMIT OF 100-FOOT WETLAND BUFFER ZONE
VERTICAL GRANITE CURB	SPOT ELEVATION
BITUMINOUS CONCRETE	LIGHT POLE
EDGE OF PAVEMENT	SEWER MANHOLE
SETBACK	DRAIN MANHOLE
BUILDING	CATCH BASIN
OUTLET CONTROL STRUCTURE	ROUND CATCH BASIN
CAPE CODE BERM	DOUBLE GRATE CATCHBASIN
SILT SOCK WITH SILT FENCE	D GRATE CATCHBASIN
LIMIT OF WORK/SILT FENCE	SIGN
STONE BOUND	MANHOLE (UNKNOWN UTILITY)

PROPOSED

102

FM
SS
D



VICINITY MAP
SCALE: 1"=500'

OWNER:

DCD DEVELOPMENT, LLC
53 PARK AVENUE
MIDDLETON, MASSACHUSETTS 01949

APPLICANT:

DCD DEVELOPMENT, LLC
53 PARK AVENUE
MIDDLETON, MASSACHUSETTS 01949

SHEET INDEX

SHEET TS.....	TITLE SHEET
SHEET EC.....	EXISTING CONDITIONS PLANS
SHEET C1.....	LAYOUT, MATERIALS AND EROSION CONTROL PLAN
SHEET C2.....	GRADING, DRAINAGE AND UTILITIES PLAN
SHEET C3.....	DETAIL AND NOTES SHEET
SHEET C4.....	DETAIL SHEET

WAIVERS:

- LANDSCAPE PLAN (SECTION 165-83 L.) ALL DISTURBED AREAS WILL BE SEEDED WITH WILDFLOWER MIX
- LIGHTING PLAN (SECTION 165-83 M.) TYPICAL BUILDING WALL LIGHTING AT EACH ENTRANCE WILL BE PROVIDED

APPROVED BY GEORGETOWN, MA
CONSERVATION COMMISSION

APPROVED BY GEORGETOWN, MA
PLANNING BOARD

DATE

DATE

TITLE
SHEET

PLOT DATE: Apr 07, 2022 9:04 am
PATH: C:\OneDrive - Hancock Associates\Documents\Local Work\24618 Tenney\

DWG: 24618 93 SP.dwg

LAYOUT: TS

SHEET: 1 OF 6

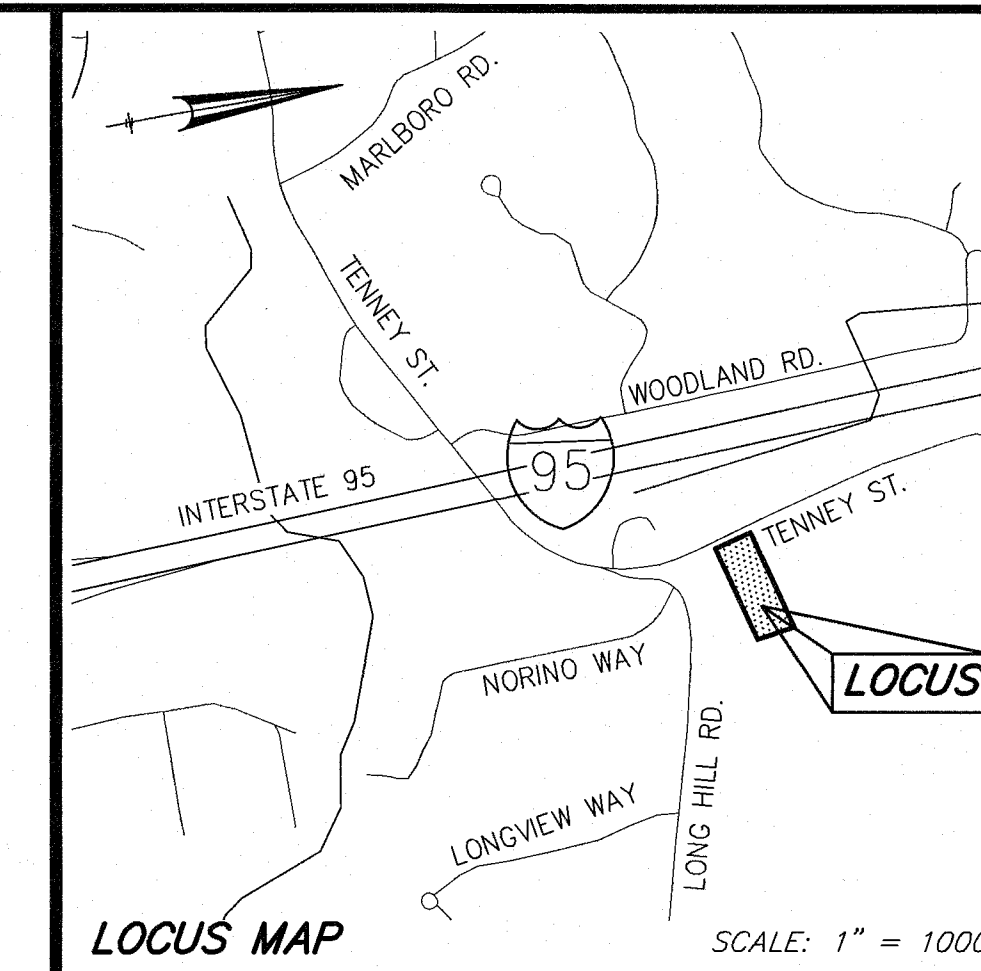
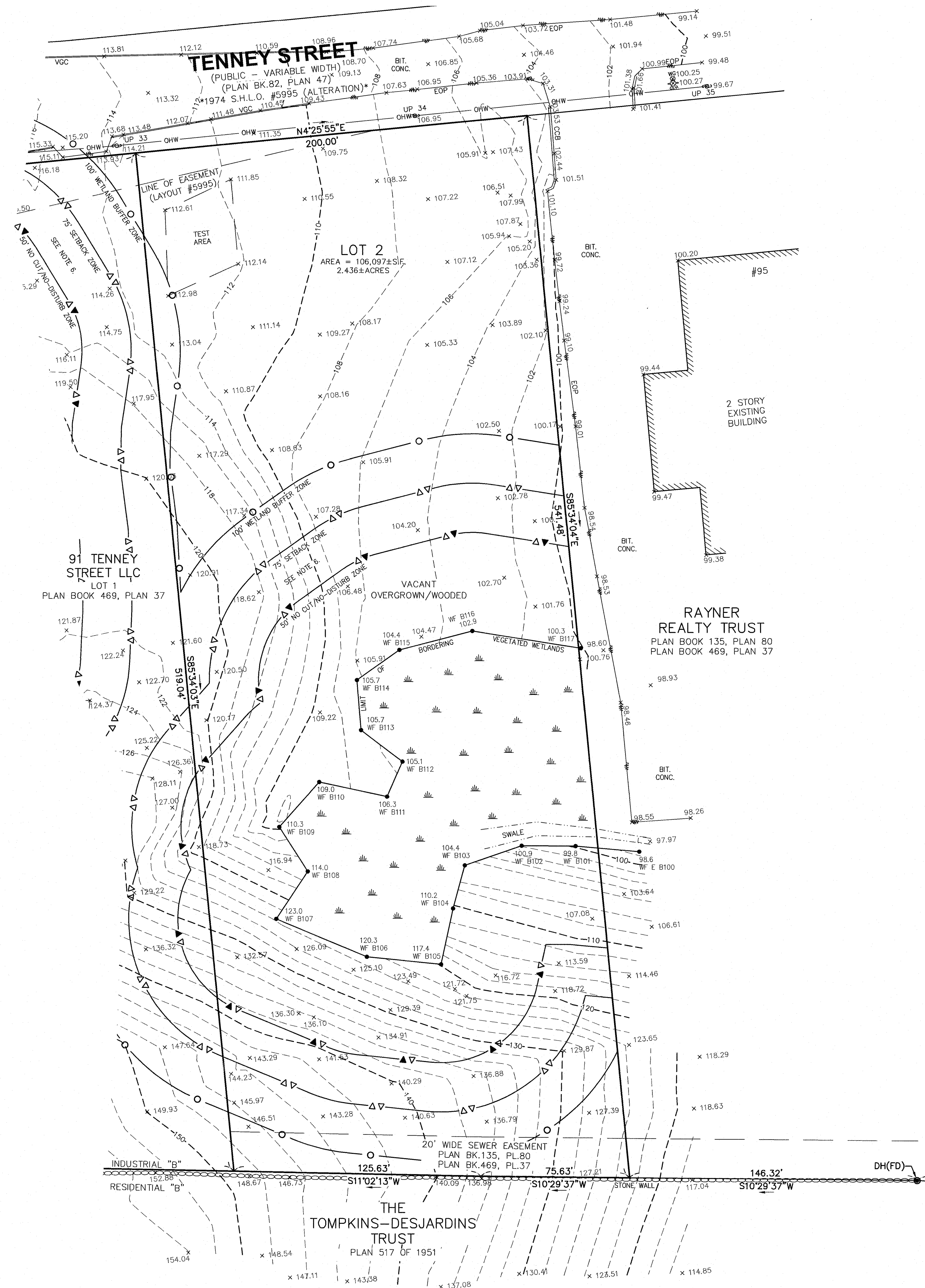
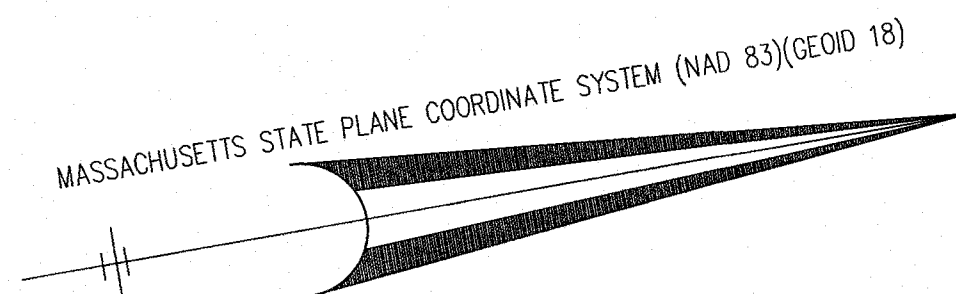
PROJECT NO.:

24618

TS

LEGEND

- 102 SURFACE CONTOUR
- STONE WALL
- EDGE OF PAVEMENT
- 86.75 CURB WITH TOP AND BOTTOM
- 86.25 CURB ELEVATION
- 12" RGP DRAINLINE WITH PIPE SIZE, MATERIAL & FLOW DIRECTION, CATCHBASIN, MANHOLE & ROUND CATCHBASIN
- W 6" CI WATER MANHOLE, WATER MAIN WITH SIZE, TEE, GATE VALVE & FIRE HYDRANT
- 10" DI GAS MAIN WITH SIZE & GATE VALVE
- OHW EXISTING UTILITY POLE WITH DESIGNATION OVERHEAD WIRES AND GUY POLE
- E ELECTRIC LINES
- T TELEPHONE MANHOLE & UNDERGROUND TELEPHONE LINES
- 79.3 WFA2 LIMIT OF BORDERING VEGETATED WETLAND WITH FLAG NUMBER AND ELEVATION
- 50' NO CUT/NO-DISTURB ZONE LIMIT OF 50' NO CUT/NO-DISTURB ZONE
- 75' SETBACK ZONE LIMIT OF 75' SETBACK ZONE
- 100' WETLAND BUFFER ZONE LIMIT OF 100-FOOT WETLAND BUFFER ZONE
- 100.7 SPOT ELEVATION
- ★ LIGHT POLE
- SMH SEWER MANHOLE
- DMH DRAIN MANHOLE
- CB CATCH BASIN
- RCB ROUND CATCH BASIN
- DOUBLE GRATE CATCHBASIN
- D GRATE CATCHBASIN
- SIGN
- MANHOLE (UNKNOWN UTILITY)
- DH DRILL HOLE
- VGC VERTICAL GRANITE CURB
- BIT. CONC. BITUMINOUS CONCRETE
- EOP EDGE OF PAVEMENT



ASSESSORS:

MAP 15, LOT 136 (DCD DEVELOPMENT LLC)

REFERENCES:

DEED BOOK 38421 PAGE 437 (DCD DEVELOPMENT LLC)
PLAN BOOK 135, PLAN 80
PLAN BOOK 139, PLAN 14
PLAN BOOK 469, PLAN 37

RECORD OWNER:

DCD DEVELOPMENT LLC
53 PARK AVE, MIDDLETON, MA 01949

ZONING:

INDUSTRIAL B

NOTES:

- ELEVATIONS SHOWN HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). SAID DATUM WAS ESTABLISHED UTILIZING GPS.
- UNDERGROUND UTILITIES SHOWN HEREON ARE COMPILED FROM FIELD LOCATIONS OF STRUCTURES AND FROM AVAILABLE RECORD INFORMATION ON FILE AT THE TOWN ENGINEERING OFFICES, TOWN D.P.W., MASS HIGHWAY DEPT. AND UTILITY COMPANIES. OTHER UNDERGROUND UTILITIES MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATION, SIZE & ELEVATION OF ALL UTILITIES WITHIN THE AREA OF PROPOSED WORK AND TO CONTACT "DIG-SAFE" AT 811 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION.
- LIMITS OF BORDERING VEGETATED WETLANDS SHOWN HEREON WERE DELINEATED BY HANCOCK ASSOCIATES ON 03/23/21 AND LOCATED BY FIELD SURVEY.
- PROPERTY LINES SHOWN HEREON FROM AN ON THE GROUND BOUNDARY SURVEY PERFORMED BY HANCOCK ASSOCIATES.
- SITE DETAIL AND TOPOGRAPHY SHOWN HEREON, PROVIDED BY WILLIAMS & SPARGES AND SUPPLEMENTED WITH ON THE GROUND SURVEY PERFORMED BY HANCOCK ASSOCIATES IN MAY 2021.
- LOCAL SETBACK ZONES TO WETLANDS WERE TAKEN FROM THE TOWN OF GEORGETOWN WETLANDS PROTECTION REGULATIONS TABLES 14 AND 15.1, REQUIRED MINIMUM NO-DISTURBANCE ZONES AND REQUIRED MINIMUM SETBACKS, REVISED SEPTEMBER 2008.

#93 TENNEY STREET

Georgetown, MA 01833

PREPARED FOR:

DCD DEVELOPMENT LLC

53 Park Avenue
Middleton, MA 01949

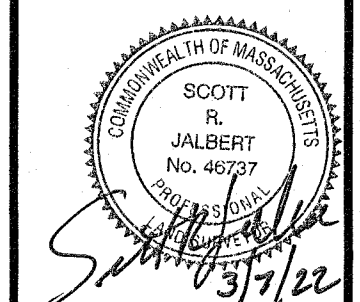
HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



2.	MMM	SRJ	3/7/2022	SHEETS 1 & 2
1.	MMM	SRJ	1/17/2022	WETLANDS NOTE
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION

DATE: 05/20/2021 DRAWN BY: CFB
SCALE: 1"=30' CHECK BY: MMM

EXISTING CONDITIONS PLAN OF LAND IN GEORGETOWN, MA

PLOT DATE: May 07, 2022 4:41 pm
PATH: C:\GWI_30 Projects\24618-DCD-Georgetown\Draw\DWG\

DWG: 24618t1.dwg

LAYOUT: EC (93)

SHEET: 2 OF 6

PROJECT NO.:

24618

SCALE: 1" = 30'

EC

ZONING TABLE

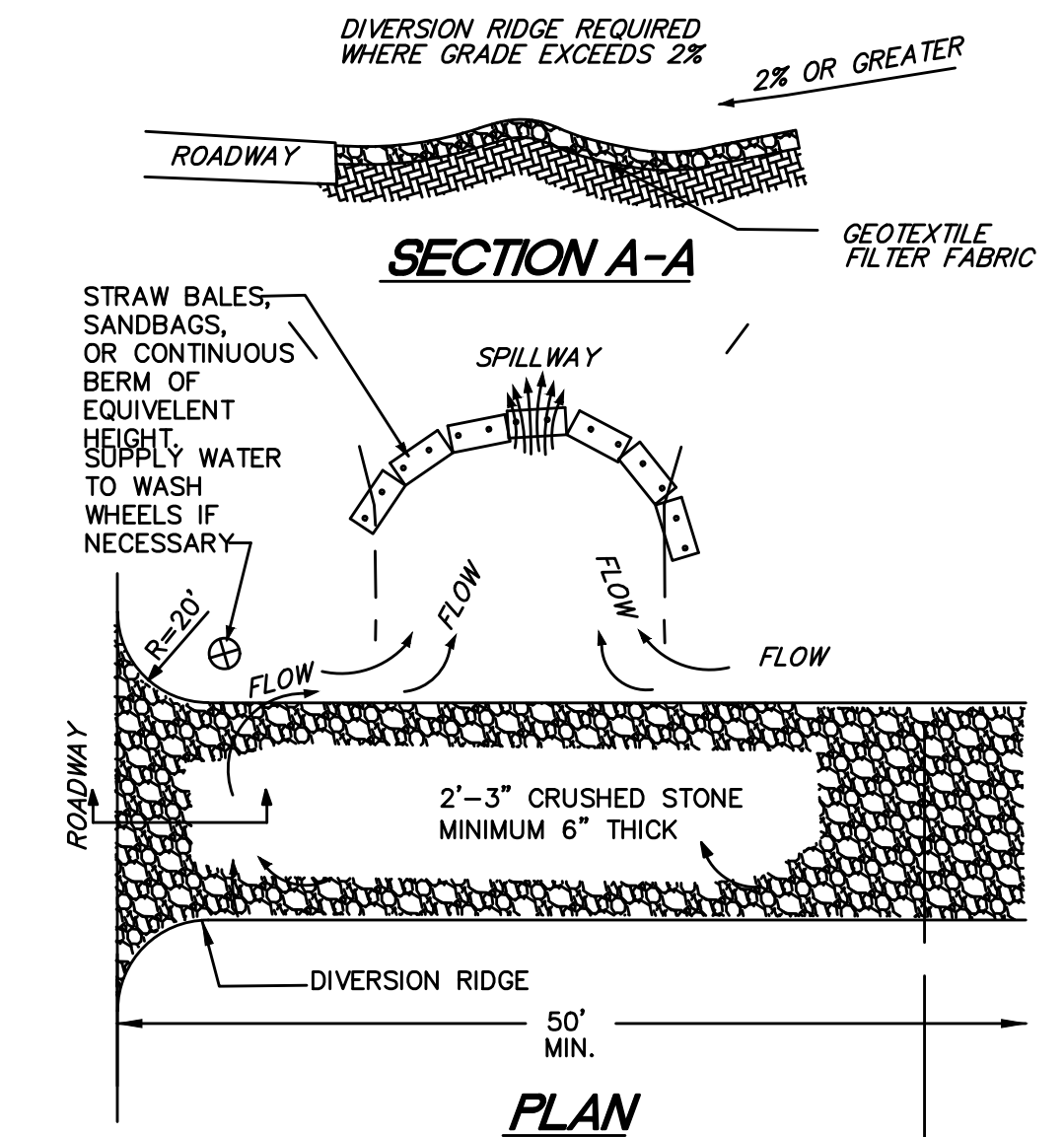
LIGHT INDUSTRIAL B DISTRICT DIMENSIONAL REQUIREMENTS			
ITEM (§255-5.1)	REQUIRED	EXISTING	PROPOSED
MIN AREA	80,000 SF	106,097 SF	106,097 SF
MIN FRONTAGE	200'	200'	200'
MIN DEPTH	200'	535'	535'
MIN FRONT YARD	50'	N/A	50'
MIN REAR YARD	30'	N/A	343'
MIN SIDE YARD	40'	N/A	55'
MAX LOT COVERAGE (%)	60%	N/A	28%
MAX BUILDING COVERAGE (%)	30%	N/A	11%
LANDSCAPED OPEN AREA (%)	40%	N/A	5%
MAX BUILDING HEIGHT	2 STORIES, 40'	N/A	24'

PARKING REQUIREMENTS

PER GEORGETOWN CODE, ZONING CHAPTER 165, REVISED JULY 2020
§165-7 DEFINITIONS AND WORD USAGE
§165-61 MINIMUM OFF-STREET PARKING REQUIREMENTS

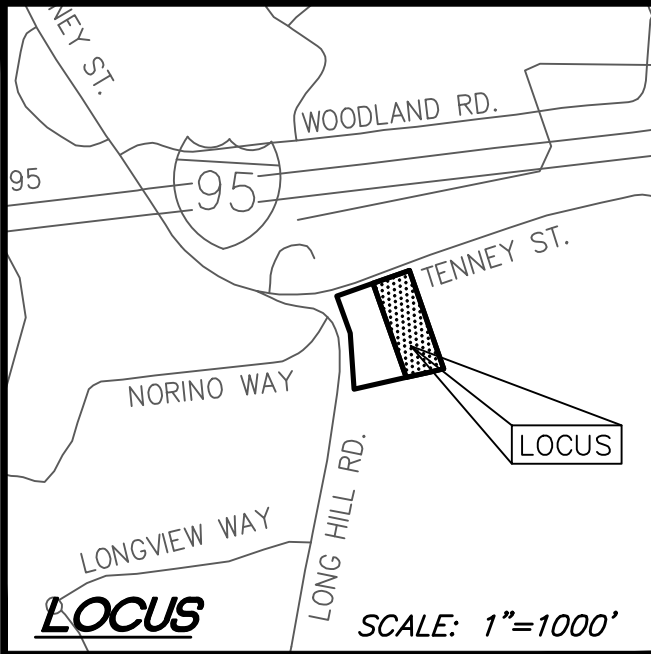
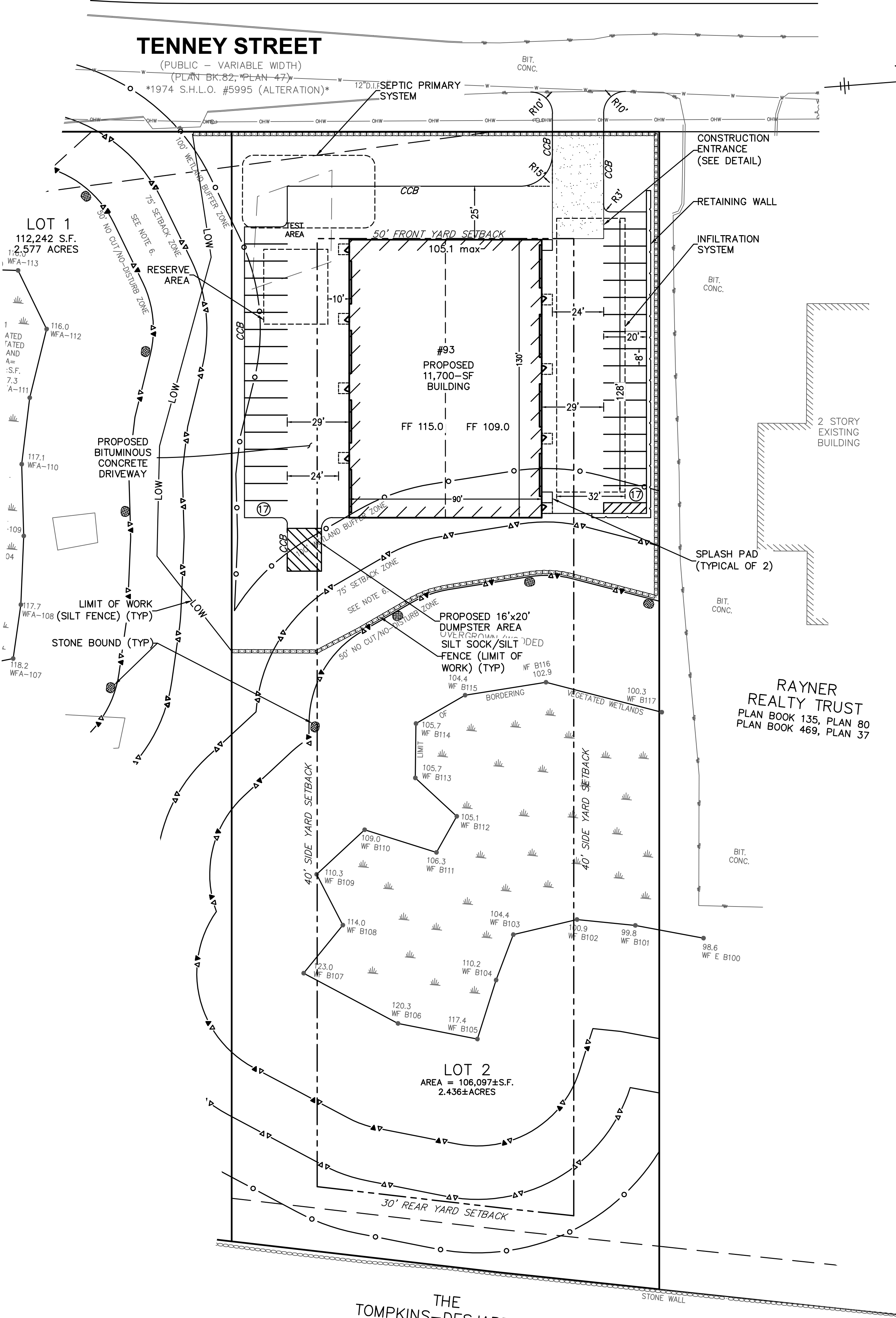
USE: INDUSTRIAL, MANUFACTURING AND WHOLESALE
REQUIREMENT: 1 SPACE PER 1,000 SQUARE FEET (SF)
PROPOSED BUILDING AREA: 11,700 SF
MINIMUM # SPACES = 11,700 / 1,000 = 11.7
PROVIDED PARKING SPACES 12 SPACES
34 SPACES

MINIMUM PARKING LOT TWO-WAY ISLE WIDTH: 25 FEET
PARKING SPACE DIMENSIONS: 8' X 20'



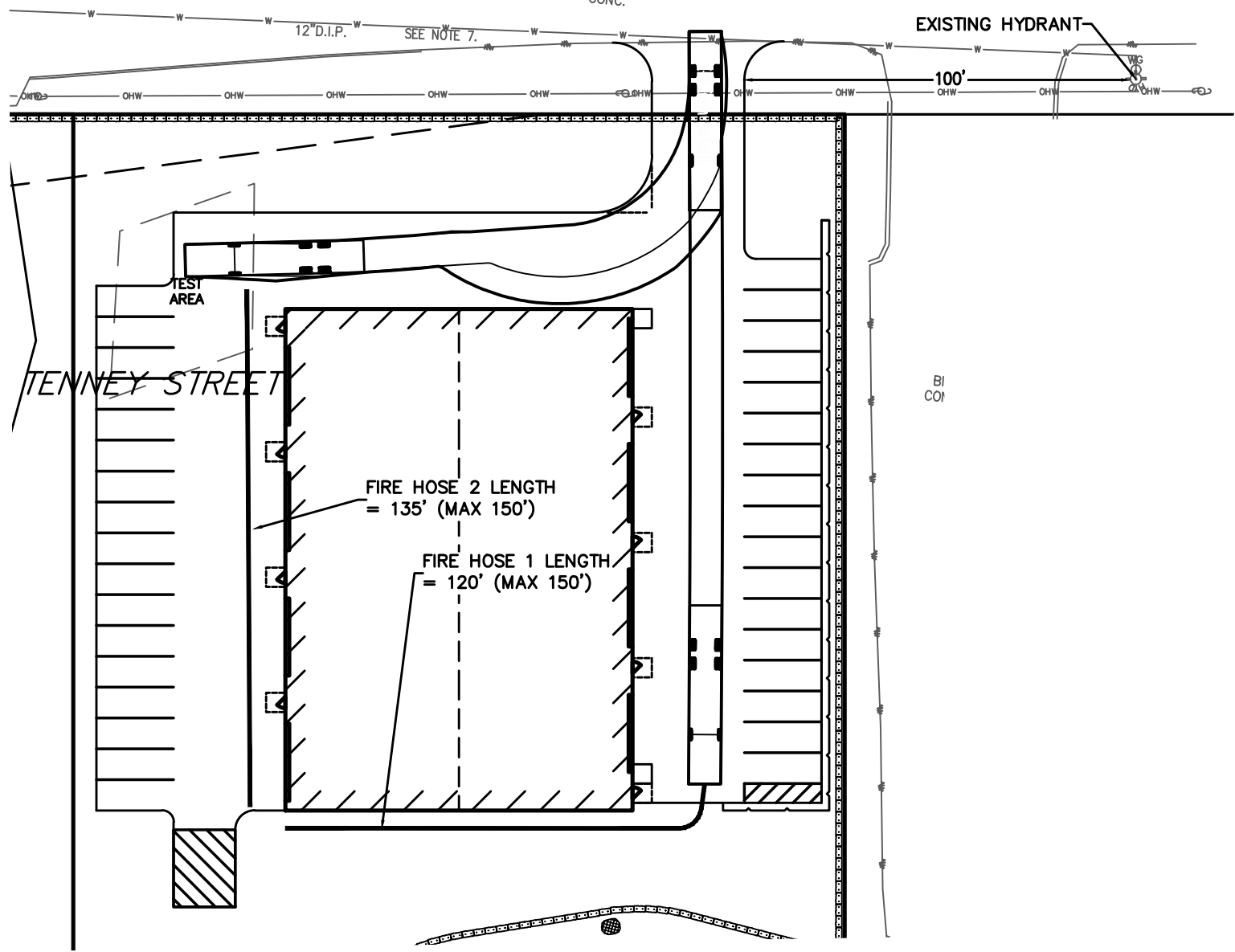
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT
NOT TO SCALE



PLAN INTENT

PERMIT SITE PLAN AND SEPTIC DESIGN



FIRE TRUCK ACCESS EXHIBIT

APPROVED BY GEORGETOWN, MA
CONSERVATION COMMISSION

DATE

APPROVED BY GEORGETOWN, MA
PLANNING BOARD

DATE

SITE PLAN

GRAPHIC SCALE" 1 INCH = 30 FEET

93 TENNEY STREET

Georgetown, Massachusetts 01833

ASSESSORS

MAP
15

LOT
136

PREPARED FOR

DCD DEVELOPMENT LLC

53 Park Avenue
Middleton, Massachusetts 01949

HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



4/7/22

1	MRG	DLC	4/7/22	CON. COMM. COMMENTS
1	MRG	DLC	4/7/22	PLANNING BOARD COMMENTS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE:	2/16/22	DESIGN BY:	RD/DLC	
SCALE:	AS SHOWN	DRAWN BY:	MRG	
APPRVD. BY:	DLC	CHECK BY:	CEW	

LAYOUT, MATERIALS, AND EROSION CONTROL PLAN

PLOT DATE: Apr 07, 2022 9:56 am
PATH: C:\OneDrive - Hancock Associates\Documents\Local Work\24618 Tenney\

DWG: 24618 93 SP.dwg

LAYOUT: L&M

SHEET: 3 OF 6

PROJECT NO.:

24618

C1

TEST PIT DATA

TP-6 --- PRIMARY STANDING WATER: 112'			
ELEVATION AT GRADE: 111.4 ESHGW: 66" (105.9)			
DEPTH	HORIZON	TEXTURE & COLOR	REDOX DEPTH
0-12"	Ap	LOAMY SAND 10YR 3/2	NONE
12-66"	Bw	LOAMY SAND 7.5YR 5/6 NONE - ROOTS @ 66", SET AS ESHGW	
66-114" +	C	LOAMY SAND 7.5YR 5/6	NONE
PERFORMED 9/21/21 BY ROBERT DIBENEDETTO, SE14044 GEORGETOWN BOH WITNESS: BILL HOLT PERC-3 RATE = <2 MIN/INCH @ 54" DEPTH			
TP-7 --- PRIMARY STANDING WATER: 106'			
ELEVATION AT GRADE: 112.2 ESHGW: 72" (106.2)			
DEPTH	HORIZON	TEXTURE & COLOR	REDOX DEPTH
0-12"	Ap	LOAMY SAND 10YR 3/2	NONE
12-72"	Bw	LOAMY SAND 7.5YR 5/6 NONE - ROOTS @ 72", SET AS ESHGW	
72-106" +	C	LOAMY SAND 7.5YR 5/6	NONE
PERFORMED 9/21/21 BY ROBERT DIBENEDETTO, SE14044 GEORGETOWN BOH WITNESS: BILL HOLT PERC-4 RATE = <2 MIN/INCH @ 54" DEPTH			

PERC DATA

PERC-3 - PERFORMED 9/21/21
DEPTH 54"
PREP 1:50
12" ---
9" ---
6" ---

COULDN'T REACH 12" DURING
PRESOAK. <2 MPI

PERC-4 - PERFORMED 9/21/21
DEPTH 54"
PREP 2:50
12" ---
9" ---
6" ---

COULDN'T REACH 12" DURING
PRESOAK. <2 MPI

TP-8 --- RESERVE STANDING WATER: 93'			
ELEVATION AT GRADE: 112.8 ESHGW: 66" (107.3)			
DEPTH	HORIZON	TEXTURE & COLOR	REDOX DEPTH
0-12"	Ap	LOAMY SAND 10YR 3/2	NONE
12-66"	Bw	LOAMY SAND 7.5YR 5/6 NONE - ROOTS @ 66", SET AS ESHGW	
66-96" +	C	LOAMY SAND 7.5YR 5/6	NONE
PERFORMED 9/21/21 BY ROBERT DIBENEDETTO, SE14044 GEORGETOWN BOH WITNESS: BILL HOLT PERC-4 RATE = <2 MIN/INCH @ 54" DEPTH			
TP-9 --- RESERVE WEeping: 86'			
ELEVATION AT GRADE: 112.8 ESHGW: 86" (105.7)			
DEPTH	HORIZON	TEXTURE & COLOR	REDOX DEPTH
0-12"	Ap	LOAMY SAND 10YR 3/2	NONE
12-48"	Bw	LOAMY SAND 7.5YR 5/6	NONE
48-90" +	C	LOAMY SAND 7.5YR 5/6	NONE
PERFORMED 9/21/21 BY ROBERT DIBENEDETTO, SE14044 GEORGETOWN BOH WITNESS: BILL HOLT PERC-4 RATE = <2 MIN/INCH @ 54" DEPTH			

TP-10 --- DRAINAGE WEeping: 54'			
ELEVATION AT GRADE: 106.5 ESHGW: 54" (102.0)			
DEPTH	HORIZON	TEXTURE & COLOR	REDOX DEPTH
0-12"	Ap	LOAMY SAND	NONE
12-54"	C	LOAMY SAND	NONE
54"	R	---	---
PERFORMED 9/21/21 BY ROBERT DIBENEDETTO, SE14044			

DESIGN ELEVATIONS

FINISH FLOOR (UPPER LEVEL)	115.0
FINISH FLOOR (LOWER LEVEL)	109.0
INVERTS	
AT HOUSE FOUNDATION	105.1
AT SEPTIC TANK INLET	104.5
AT SEPTIC TANK OUTLET	104.25
PUMP CHAMBER INLET	104.2
AT D-BOX INLET	112.4
AT D-BOX OUTLET	112.23
TOP 2" STONE/BREAKOUT	112.2
4" PERF. PIPE START	111.99
4" PERF. PIPE END (52'x.5%)	111.74
BOTTOM FIELD BED	111.24
EST. SEASONAL HIGH GW	106.2

FLOW	
1. BUILDING USE :	OFFICE SPACE
2. BUILDING AREA :	11,700 SF
3. DESIGN FLOW :	75 GPD/KSF
4. TOTAL DAILY FLOW (TITLE 5):	878 GALLONS

PRIMARY SOIL ABSORPTION SYSTEM REQUIREMENTS

- DESIGN PERCOLATION RATE: < 2 MINUTES PER INCH **
- SOIL CLASS CLASS 1
- LONG TERM ACCEPTANCE RATE: 0.74 GPD/SF
- GARBAGE GRINDER: NO
- TOTAL AREA REQ'D (TITLE 5 FIELD): 878 / 0.74 = 1,187 SF
- AREA PROVIDED (TITLE 5 FIELD):
FIELD DIMENSIONS: 52' LONG, 20' WIDE 50 x 24 = 1,200 SF
- TOTAL FLOW PROVIDED: 1,200 x 0.74 = 888 GPD

RESERVE SOIL ABSORPTION SYSTEM REQUIREMENTS

- DESIGN PERCOLATION RATE: < 2 MINUTES PER INCH **
- SOIL CLASS CLASS 1
- LONG TERM ACCEPTANCE RATE: 0.74 GPD/SF
- GARBAGE GRINDER: NO
- TOTAL AREA REQ'D (TITLE 5 FIELD): 878 / 0.74 = 1,187 SF
- AREA PROVIDED (TITLE 5 FIELD):
FIELD DIMENSIONS: 42' LONG, 25' WIDE 40 x 30 = 1,200 SF
- TOTAL FLOW PROVIDED: 1,200 x 0.74 = 888 GPD

FLOW AND AREA COMPUTATIONS

(310 CMR 15.242 & 2019 PRESBY DESIGN MANUAL)
** 5-FT OFFSET TO ESHGW

SEPTIC TANK REQUIREMENTS

- REQUIRED: 2-COMPARTMENT FOR NON-SINGLE FAMILY USE
2 x 878 = 1,756 FIRST COMPARTMENT
878 SECOND COMPARTMENT
2,634 GAL MIN. > 1,500 GAL PER TITLE 5
PROVIDED: USE 2-COMPARTMENT, 3,000-GAL SEPTIC TANK

SEPTIC TANK COMPUTATIONS

(310 CMR 15.223, 15.224)

KEVIN &
NANCY COLLINS
PLAN BOOK 340, PLAN 76
MAP 16, LOT 48A

THE
TOMPKINS-DESJARDINS
TRUST
PLAN 517 OF 1951
MAP 16, LOT 48

TENNEY STREET

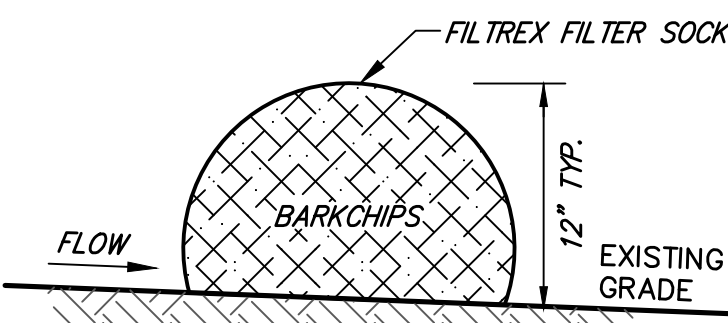
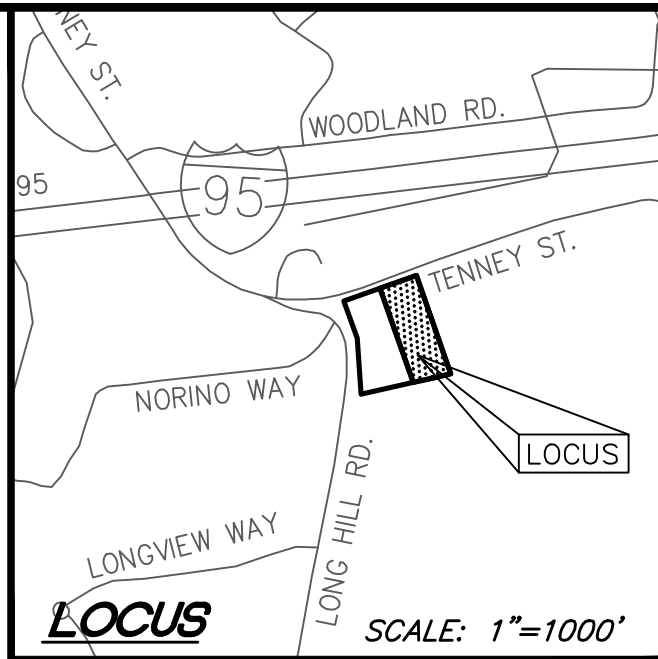
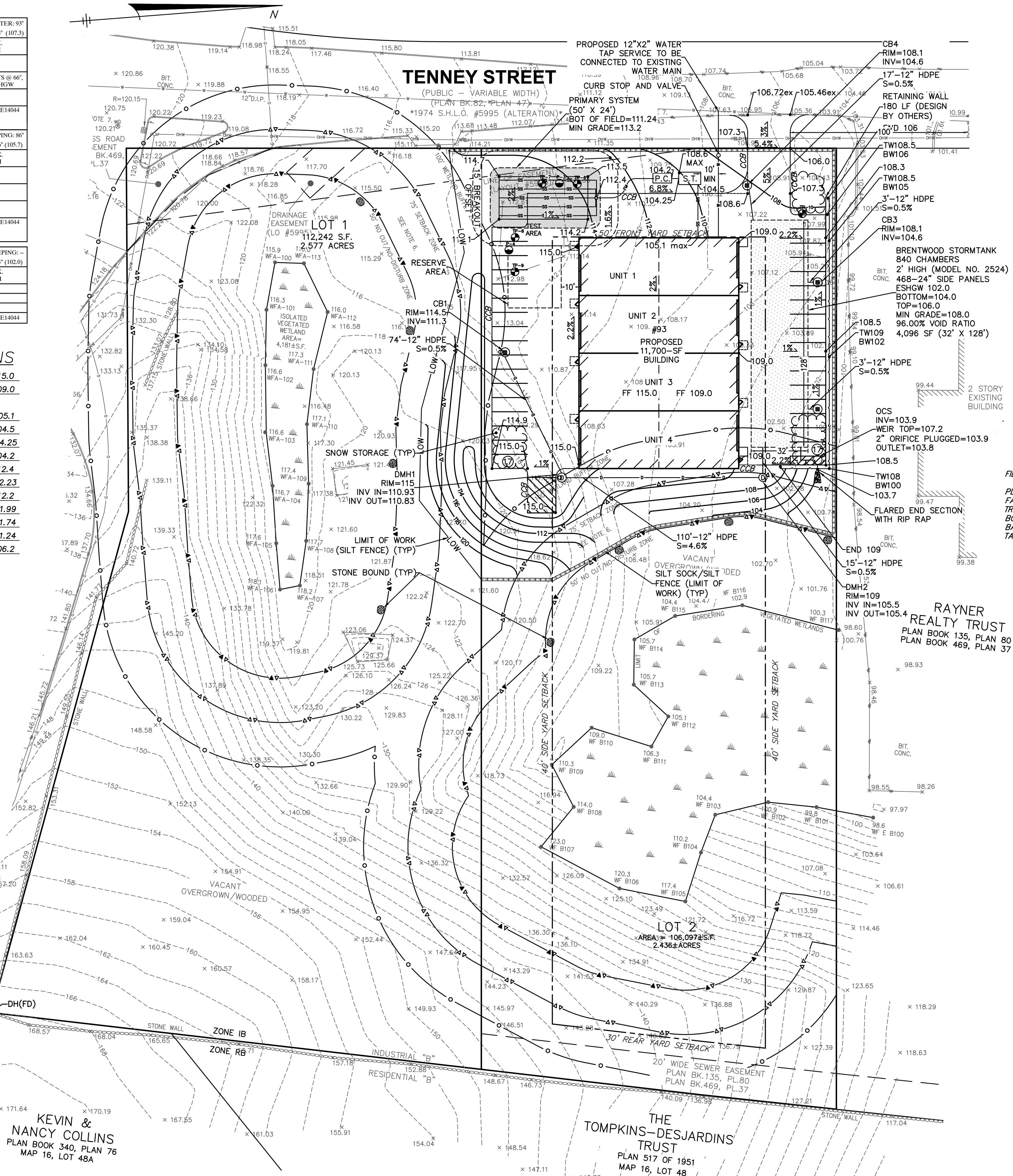
(PUBLIC - VARIABLE WIDTH)

(PLAN BK. 82, PL. 47)

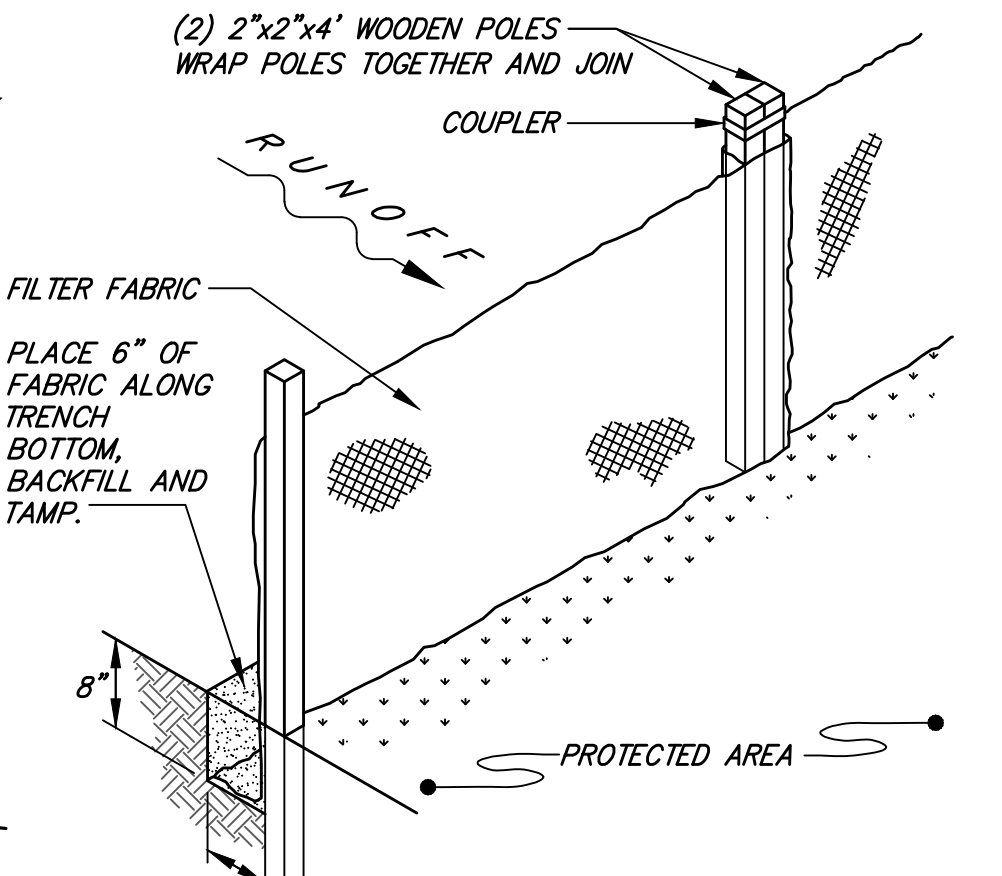
*1974 S.H.L.O. #5995 (ALTERATION)

*BOT OF FIELD=111.24

MIN GRADE=113.2



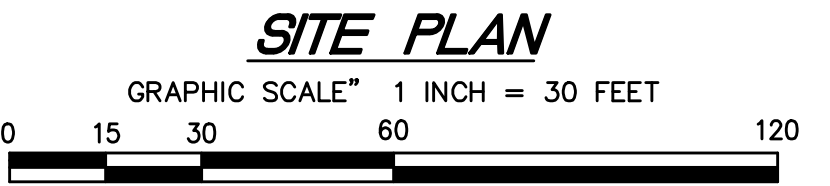
SILT SOCK BARRIER
CROSS SECTION
NOT TO SCALE



SILT FENCE BARRIER
ISOMETRIC VIEW
NOT TO SCALE

APPROVED BY GEORGETOWN, MA
CONSERVATION COMMISSION

APPROVED BY GEORGETOWN, MA
PLANNING BOARD



93 TENNEY STREET

Georgetown, Massachusetts 01833

ASSESSORS

MAP 15 LOT 136

PREPARED FOR

DCD
DEVELOPMENT
LLC

53 Park Avenue
Middleton, Massachusetts 01949

HANCOCK
ASSOCIATES

Civil Engineers
Land Surveyors
Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



4/7/22

1	MRG	DLC	4/7/22	CON. COMM. COMMENTS
1	MRG	DLC	4/7/22	PLANNING BOARD COMMENTS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 2/16/22 DESIGN BY: RD/DLC				
SCALE: AS SHOWN DRAWN BY: MRG				
APPRVD. BY: DLC CHECK BY: CEW				

GRADING,
DRAINAGE AND
UTILITY PLAN

PLOT DATE: Apr 07, 2022 10:02 am
PATH: C:\pdrive - Hancock Associates\Documents\Local Work\24618 Tenney\

DWG: 24618 93 SP.dwg

LAYOUT: GDU

SHEET: 4 OF 6

PROJECT NO.:

24618

C2

GENERAL NOTES

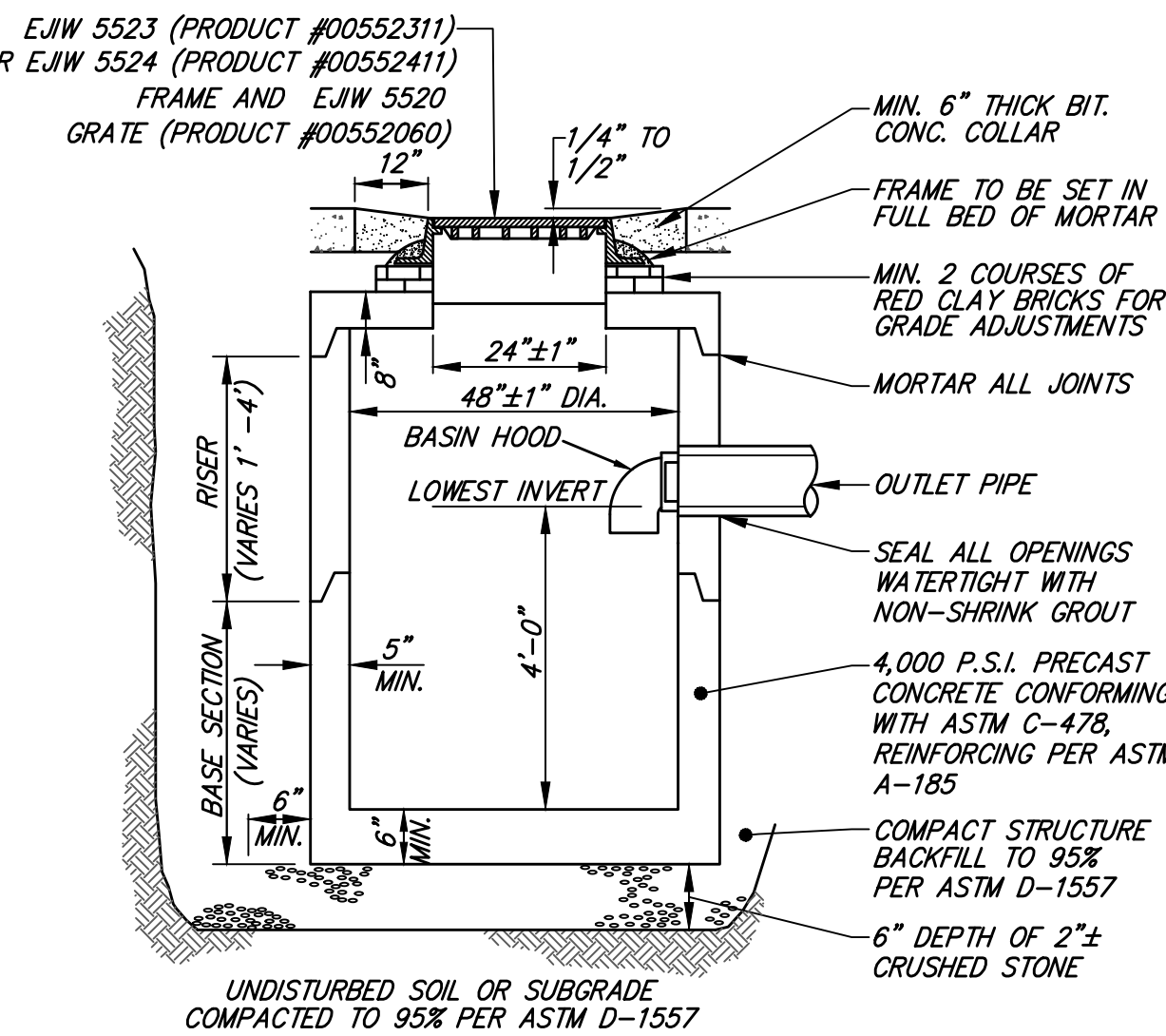
- ELEVATIONS SHOWN HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND RELATIVE ELEVATION OF BENCH MARKS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCY SHALL BE REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL FURNISH CONSTRUCTION LAYOUT OF BUILDING AND SITE IMPROVEMENTS. THIS WORK SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
- SAFETY MEASURES: CONSTRUCTION METHODS AND CONTROL OF WORK SHALL BE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SITE CONSTRUCTION SHALL COMPLY WITH THE GEORGETOWN DEPARTMENT OF PUBLIC WORKS STANDARDS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION THAT ARE NOT DESIGNATED FOR DEMOLITION AND / OR REMOVAL HEREON. DAMAGED IMPROVEMENTS SHALL BE REPAIRED TO THE SATISFACTION OF THEIR RESPECTIVE OWNERS.
- ANY INTENDED REVISION OF THE HORIZONTAL AND/OR VERTICAL LOCATION OF IMPROVEMENTS TO BE CONSTRUCTED AS SHOWN HEREON SHALL BE REVIEWED AND APPROVED BY ENGINEER PRIOR TO IMPLEMENTATION.
- THIS PLAN IS NOT INTENDED TO SHOW AN ENGINEERED BUILDING FOUNDATION DESIGN, WHICH WOULD INCLUDE DETAILS AND FINAL ELEVATIONS OF FOOTINGS, WALLS AND SUBSURFACE DRAINAGE TO PREVENT INTERIOR FLOODING. SEE ARCHITECTURAL AND/OR STRUCTURAL DRAWINGS.
- PROPOSED BUILDING FOUNDATION CONFIGURATION AND LOCATION ON THE LOT AS SHOWN ARE CONCEPTUAL AND SHALL BE VERIFIED AS TO CONFORMANCE WITH FINAL ARCHITECTURAL PLANS AND ZONING ORDINANCES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING HORIZONTAL AND VERTICAL MEASUREMENTS FOR ALL SUBSURFACE STRUCTURES. THIS INFORMATION SHALL BE REPORTED TO THE ENGINEER.
- TRASH AND RECYCLING COLLECTION AREAS ARE LOCATED WITHIN THE BUILDINGS.
- STANDARD PARKING SPACES ARE 8' X 20'; TYPICAL. SITE DRIVEWAYS ARE 24' WIDE. HANDICAP PARKING SPACES SHALL MEET ADA REQUIREMENTS.
- WETLAND LIMITS ON-SITE WERE DELINEATED BY HANCOCK ASSOCIATES ON 3/23/21.

GRADING AND UTILITY PLAN NOTES

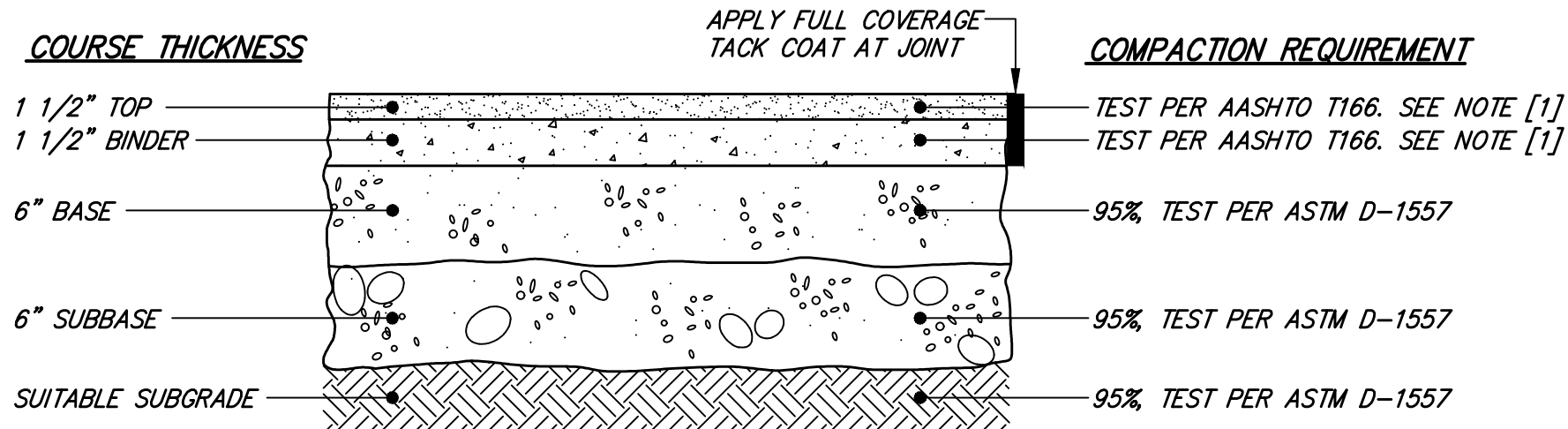
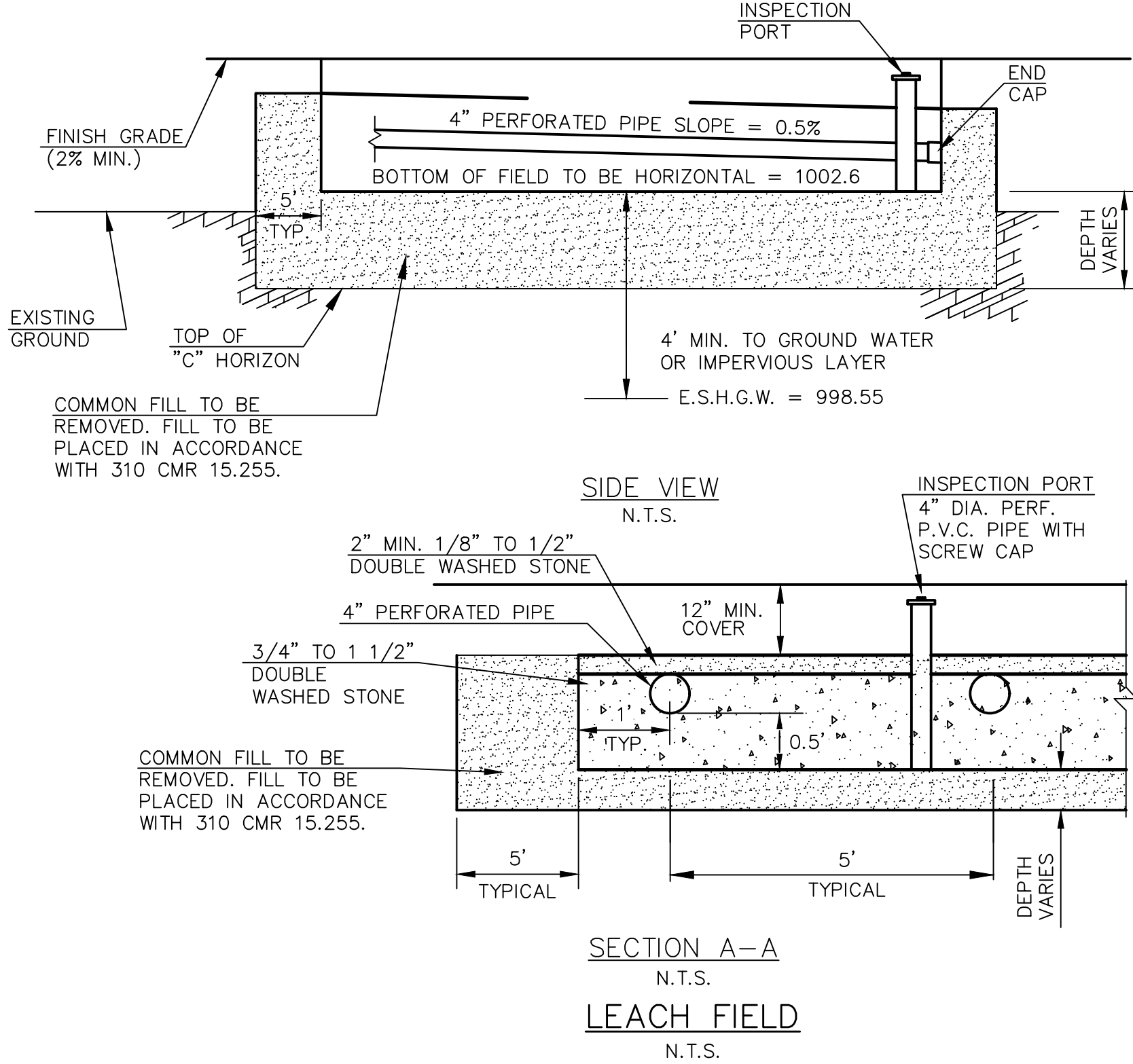
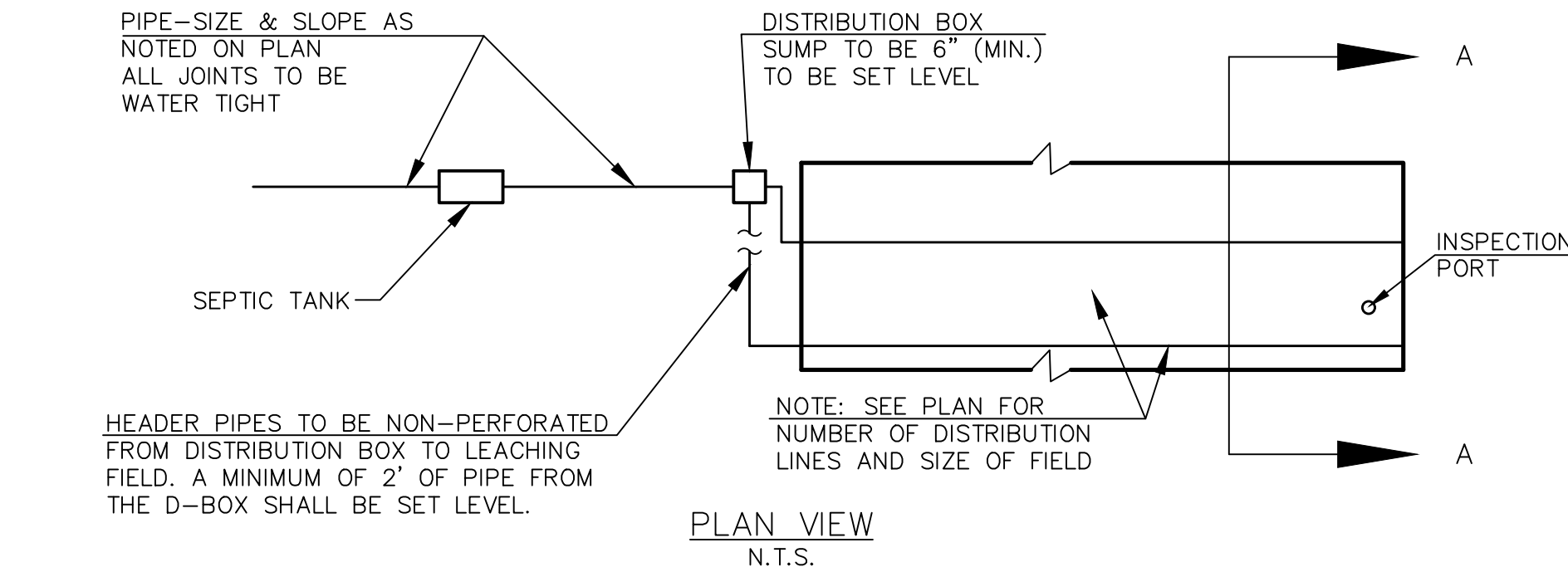
- LOCATIONS OF EXISTING UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS SHOWN HEREON ARE APPROXIMATE ONLY. ALL UTILITIES/OBSTRUCTIONS/SYSTEMS MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES/OBSTRUCTIONS/SYSTEMS, WHETHER OR NOT SHOWN HEREON.
- UNLESS OTHERWISE SHOWN, ALL NEW UTILITIES SHALL BE UNDERGROUND.
- RIM ELEVATIONS SHOWN FOR NEW STRUCTURES ARE APPROXIMATE AND ARE PROVIDED TO ASSIST CONTRACTOR WITH MATERIAL TAKEOFFS. FINISH RIM ELEVATIONS SHOULD MATCH PAVEMENT, GRADING OR LANDSCAPING, UNLESS SPECIFICALLY INDICATED OTHERWISE.
- WHERE EXISTING UTILITY LINES/STRUCTURES ARE TO BE CUT/BROKEN DOWN/ ABANDONED, LINES/STRUCTURES SHALL BE PLUGGED/CAPPED/FILLED IN ACCORDANCE WITH OWNER REQUIREMENTS.
- THE CONTRACTOR SHALL ENCASE AND/OR SLEEVE SEWER AND WATER MAINS WHERE THE CROWN OF THE SEWER PIPE IS LESS THAN 18 INCHES BELOW THE INVERT OF THE WATER PIPE AND WHERE THE HORIZONTAL SEPARATION IS LESS THAN 10 FEET, AS REQUIRED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION.
- STRUCTURE DETAILS FROM INDEPENDENT VENDORS ARE CONSTANTLY CHANGING. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT DETAILS SHOWN MATCH CURRENT DETAILS AND SPECIFICATIONS FROM VENDORS.
- CONTRACTOR SHALL INSTALL ALL PARKING AREAS AND WALKWAYS IN ACCORDANCE WITH APPLICABLE ADA AND MAAB REQUIREMENTS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
 - HANDICAPPED SPACES AND STRIPED AREA SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - HANDICAPPED RAMPS SHALL NOT EXCEED 8% FOR A MAXIMUM VERTICAL DISTANCE OF 6 INCHES.
 - SIDEWALKS SHALL HAVE A MAXIMUM SLOPE IN THE PATH OF TRAVEL OF 5% AND A MAXIMUM CROSS SLOPE OF 2%. CONTRACTOR SHOULD NOT LAYOUT SLOPES EXCEEDING 4.5% AND 1.5% RESPECTIVELY TO ALLOW FOR CONSTRUCTION TOLERANCES. IF THE CONTRACTOR DETERMINES THAT THE REQUIRED SLOPES CANNOT BE ACHIEVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING THE INFORMATION TO THE ENGINEER FOR RESOLUTION.
- ALL PROPOSED TOP OF VERTICAL CURB ELEVATIONS ARE 6" ABOVE THE BOTTOM OF CURB UNLESS OTHERWISE SHOWN.
- WHERE NEW PAVING MEETS EXISTING PAVING, MEET LINE AND GRADE OF EXISTING WITH NEW PAVING.
- AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW CONSTRUCTION, THE EDGE OF THE EXISTING PAVEMENT SHALL BE SAWCUT TO A CLEAN, SMOOTH EDGE.
- EXCAVATION REQUIRED WITHIN PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINES OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL VERIFY ALL PROPOSED TOP OF CURB ELEVATIONS BEFORE PROCEEDING WITH ANY CONSTRUCTION AND ADVISE THE ENGINEER OF ANY DISCREPANCY WHICH MAY IMPACT DESIGN.
- ALL DISTURBED AREAS NOT COVERED WITH PAVEMENT, STRUCTURES, INDIVIDUAL PLANTINGS, OR MULCH SHALL HAVE LOAM AND SOD, OR LOAM AND SEED AS SHOWN ON THE LANDSCAPE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL UNDERGROUND STRUCTURES AND UTILITIES SHALL BE CAPABLE OF WITHSTANDING H20 WHEEL LOADS.
- THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, SIZE, INVERTS AND TYPES OF EXISTING PIPES AT ALL PROPOSED POINTS OF CONNECTION PRIOR TO ORDERING MATERIALS. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY AT NO ADDITIONAL COST BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT.
- SILT FENCE AND/OR HAYBALES SHOWN HEREON SHALL BE INSTALLED BEFORE EARTH DISTURBANCE OCCURS WITHIN BUFFER ZONE, AND SHALL SERVE AS THE LIMIT OF WORK.
- CONTRACTOR SHALL PROVIDE DUST CONTROL FOR CONSTRUCTION OPERATIONS AS APPROVED BY THE ENGINEER.
- ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ON TO PUBLIC ROADS.

REGULATORY NOTES

- CONTRACTOR SHALL CONTACT "DIG-SAFE" FOR AN UNDERGROUND UTILITY MARKING AT 811 AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK.
- CONTRACTOR SHALL MAKE HIMSELF AWARE OF ALL CONSTRUCTION REQUIREMENTS, CONDITIONS AND LIMITATIONS IMPOSED BY PERMITS AND APPROVALS ISSUED BY REGULATORY AUTHORITIES PRIOR TO THE COMMENCEMENT OF ANY WORK. CONTRACTOR SHALL COORDINATE AND OBTAIN ALL CONSTRUCTION PERMITS REQUIRED BY REGULATORY AUTHORITIES.
- ALL WORK OUTSIDE OF THE BUILDING THAT IS LESS THAN 10 FEET FROM THE INSIDE FACE OF THE BUILDING FOUNDATION SHALL CONFORM WITH THE UNIFORM STATE PLUMBING CODE OF MASSACHUSETTS, 248 CMR 2.00.
- THIS PLAN SHALL ACCOMPANY A NOTICE OF INTENT FILED WITH THE GEORGETOWN CONSERVATION COMMISSION AND THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MA DEP).
- CONSTRUCTION ACTIVITIES SHALL CONFORM TO THE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).



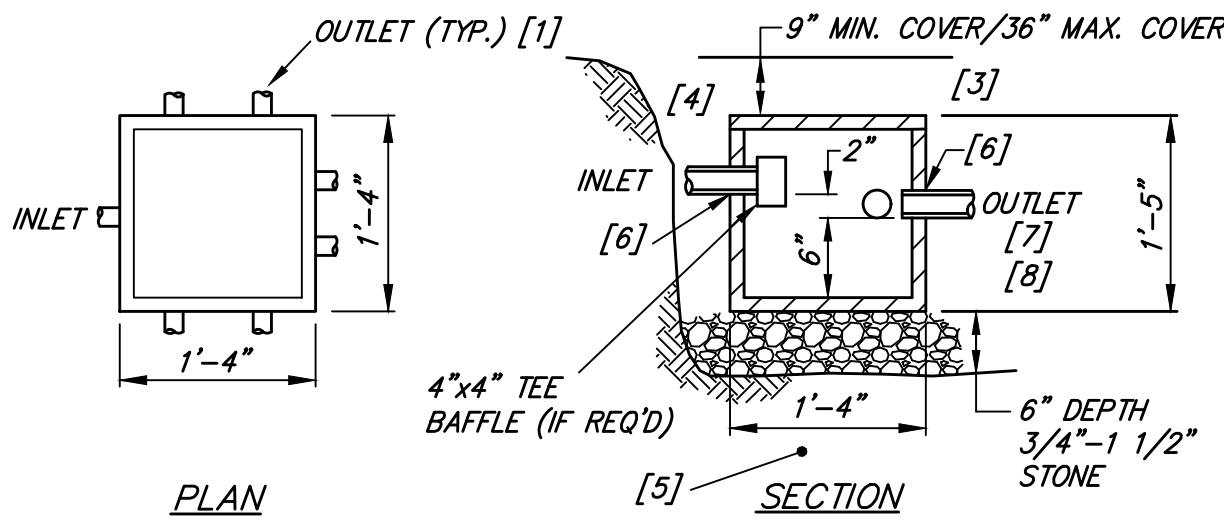
CATCH BASIN WITH HOOD
TYPICAL CROSS SECTION
NOT TO SCALE



NOTES:
[1] COMPACT TO TEST AVERAGE OF 95% ±2.5%

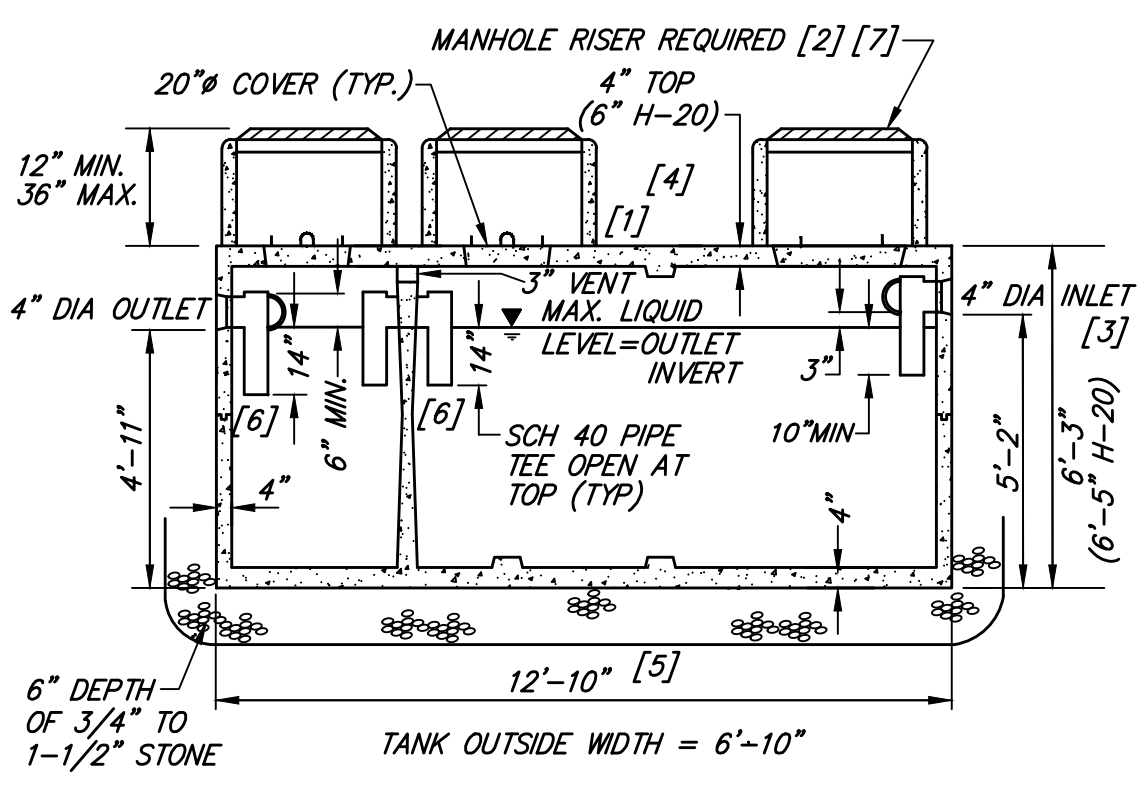
MATERIAL	SPECIFICATION	MAXIMUM AGGREGATE OR PARTICLE SIZE (IN.)
TOP - BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1/2
BINDER- BITUMINOUS CONCRETE	MHD M3.11.03 CLASS I, TYPE I-1	1
BASE - DENSE GRADED CRUSHED STONE	MHD M2.01.7	1 1/2
SUBBASE - GRAVEL BORROW	MHD M1.03.0 TYPE C	2

BITUMINOUS CONCRETE PAVEMENT
TYPICAL CROSS SECTION
NOT TO SCALE



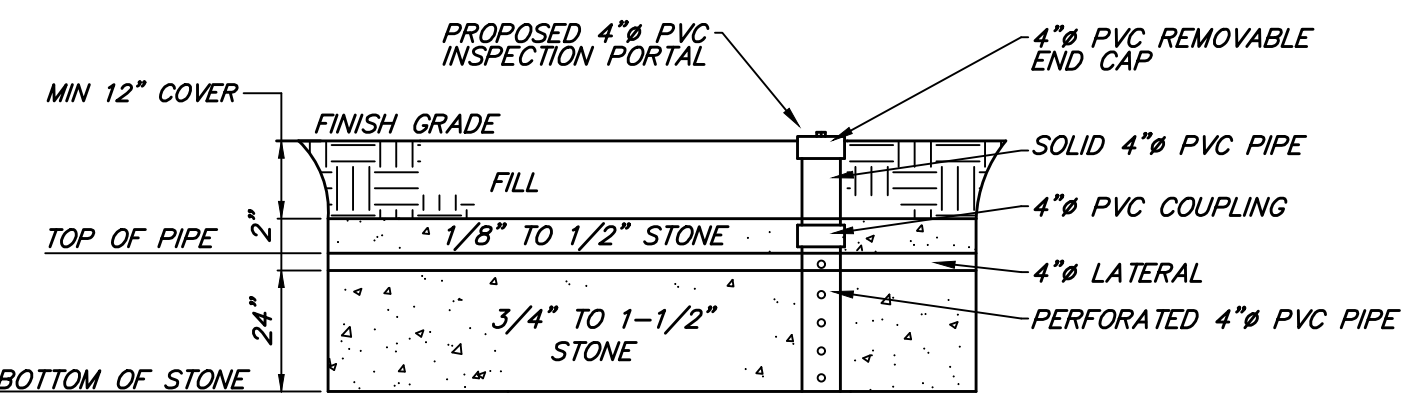
- NUMBER OF OUTLETS: 6
- LOAD RATING: H10 H20
- MANHOLE RISER REQUIRED: XXX, APPROXIMATE DEPTH OF COVER OVER RISER RIM: X INCHES. DISTRIBUTION BOXES BURIED GREATER THAN 9 INCHES BELOW GRADE SHALL BE EQUIPPED WITH RISERS.
- WHERE UNDER OR ADJACENT AREA TO BE PAVED, COMPACT BACKFILL TO 95% PER ASTM D-1557
- UNDISTURBED SOIL OR SUBGRADE COMPACTED TO 95% PER ASTM D-1557
- ALL OPENINGS SEALED WATERTIGHT.
- ALL OUTLET PIPE INVERTS AT SAME ELEVATION, LAID LEVEL FOR 2 FEET DOWNSTREAM FROM DISTRIBUTION BOX.
- ALL OUTLETS TO BE FITTED WITH FLOW REGULATING DEVICES UNLESS INLET IS A FORCE MAIN.

6-OUTLET DISTRIBUTION BOX
(310 CMR 15.232)
NOT TO SCALE



- PRECAST REINFORCED CONCRETE CONSTRUCTION, LOAD RATING: H10 H20 FULLY DAMP PROOFED EXTERIOR, ALL OPENINGS SEALED WATERTIGHT, AS MANUFACTURED BY E.F. SHEA OF WILMINGTON, MA, OR EQUAL.
- MANHOLE RISER REQUIRED: YES NO. IF YES, APPROX. DEPTH OF COVER OVER RISER RIM: 18-24 INCHES
- IF SIDE INLET OF SEPTIC TANK IS USED, EXTEND INLET PIPE TO CENTER OF TANK.
- WHERE UNDER OR ADJACENT TO AREA TO BE PAVED, COMPACT BACKFILL TO 95% DRY DENSITY PER ASTM D-1557.
- UNDISTURBED SOIL OR SUBGRADE COMPACTED TO 95% DRY DENSITY PER ASTM D-1557.
- OUTLET TEES SHALL BE EQUIPPED WITH A CORROSION-RESISTANT GAS DEFLECTOR.
- INSTALL EFFLUENT FILTER: ZABEL A1800 OR EQUAL. BRING MANHOLE ABOVE FILTER TO GRADE AND LABEL WITH FILTER.
- FIRST COMPARTMENT 1670 GAL (MIN 1530) SECOND COMPARTMENT 830 GAL (MIN 765)

2,500-GAL. 2-COMPARTMENT SEPTIC TANK
(310 CMR 15.223 - 15.227)
TYPICAL CROSS SECTION
NOT TO SCALE



NOTE: INSPECTION PORTAL IS TO ASSIST WITH FUTURE OPERATION EVALUATIONS AND TITLE 5 INSPECTIONS.

INSPECTION PORT DETAIL
TYPICAL CROSS SECTION
NOT TO SCALE

93 TENNEY STREET

Georgetown, Massachusetts 01833

ASSESSORS

MAP 15 LOT 136

PREPARED FOR

DCD DEVELOPMENT LLC

53 Park Avenue
Middleton, Massachusetts 01949

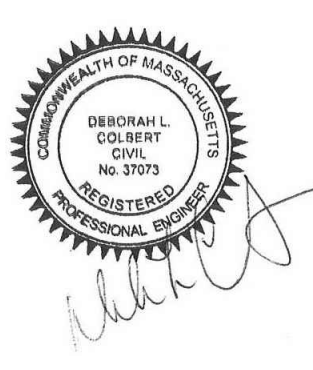
HANCOCK ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



1	MRG	DLC	4/7/22	CON. COMM. COMMENTS
1	MRG	DLC	4/7/22	PLANNING BOARD COMMENTS
NO.	BY	APP	DATE	ISSUE/REVISION DESCRIPTION
DATE: 2/16/22 DESIGN BY: RD/DLC SCALE: AS SHOWN DRAWN BY: MRG APPROV. BY: DLC CHECK BY: CEW				

NOTES AND DETAIL SHEET

PLOT DATE: Apr 07, 2022 10:08 am
PATH: C:\pdrive - Hancock Associates\Documents\Local Work\24618 Tenney\

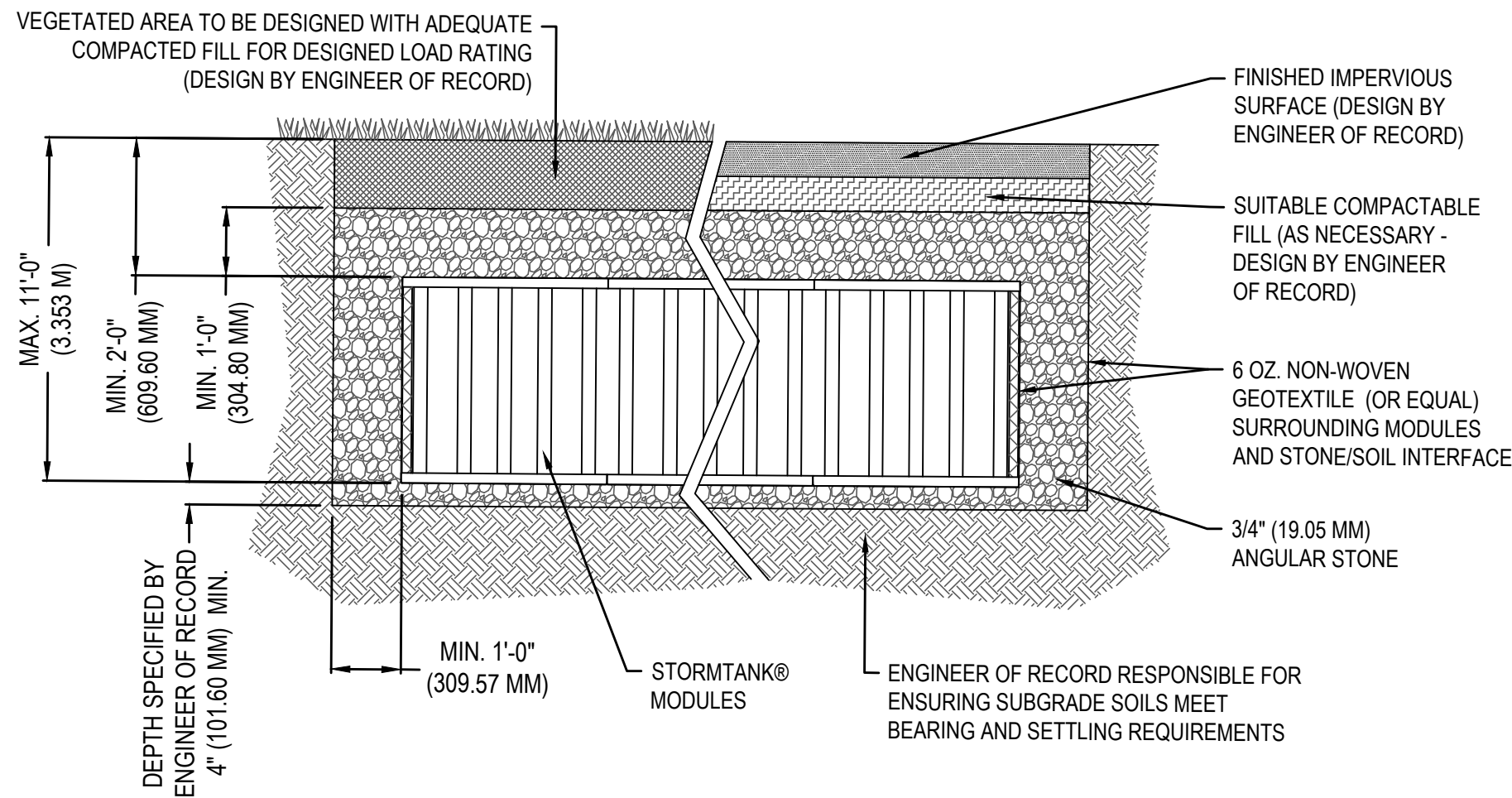
DWG: 24618 93 SP.dwg

LAYOUT: DET 1

SHEET: 5 OF 6

PROJECT NO.: 24618

C3



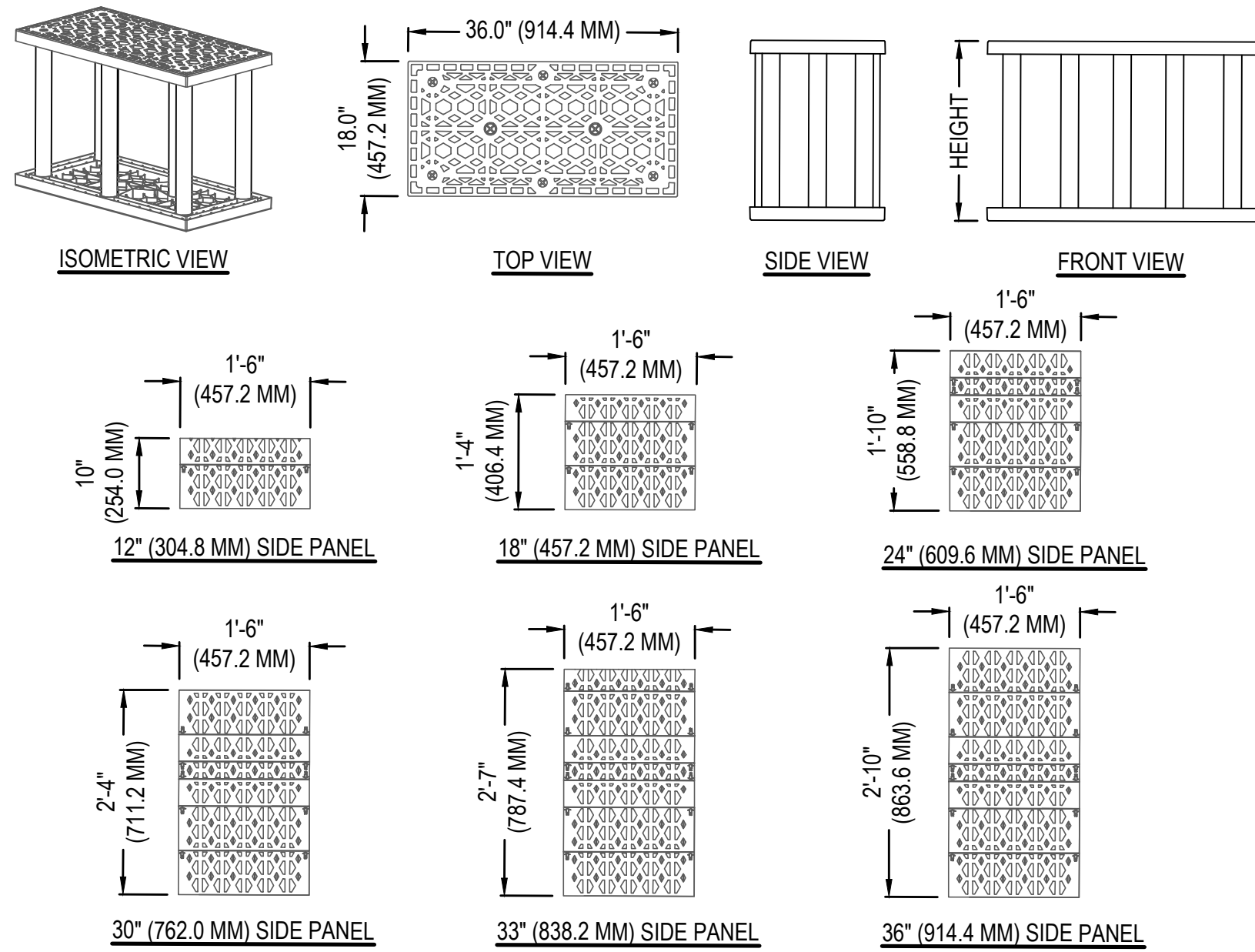
SINGLE STACK DETAIL

- MANUFACTURER NOTES:
1. REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER INSTALLATION PRACTICES.
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 24618 93

BRENTWOOD STORMTANK ELEVATIONS	
SYSTEM	#1
FINISH GRADE	108
TOP OF CRUSHED STONE	107
TOP OF SYSTEM	106
SYSTEM INVERT	104
BOT. OF CRUSHED STONE	103.7
INVERT IN FROM CB#1	105.33
INVERT IN FROM CB#2	104.68
INVERT IN FROM CB#3	104.58
INVERT IN FROM CB#4	104.51
INVERT OUT	104
ESHW	102.0

BRENTWOOD TANK SYSTEM CROSS SECTION

TYPICAL CROSS SECTION
NOT TO SCALE



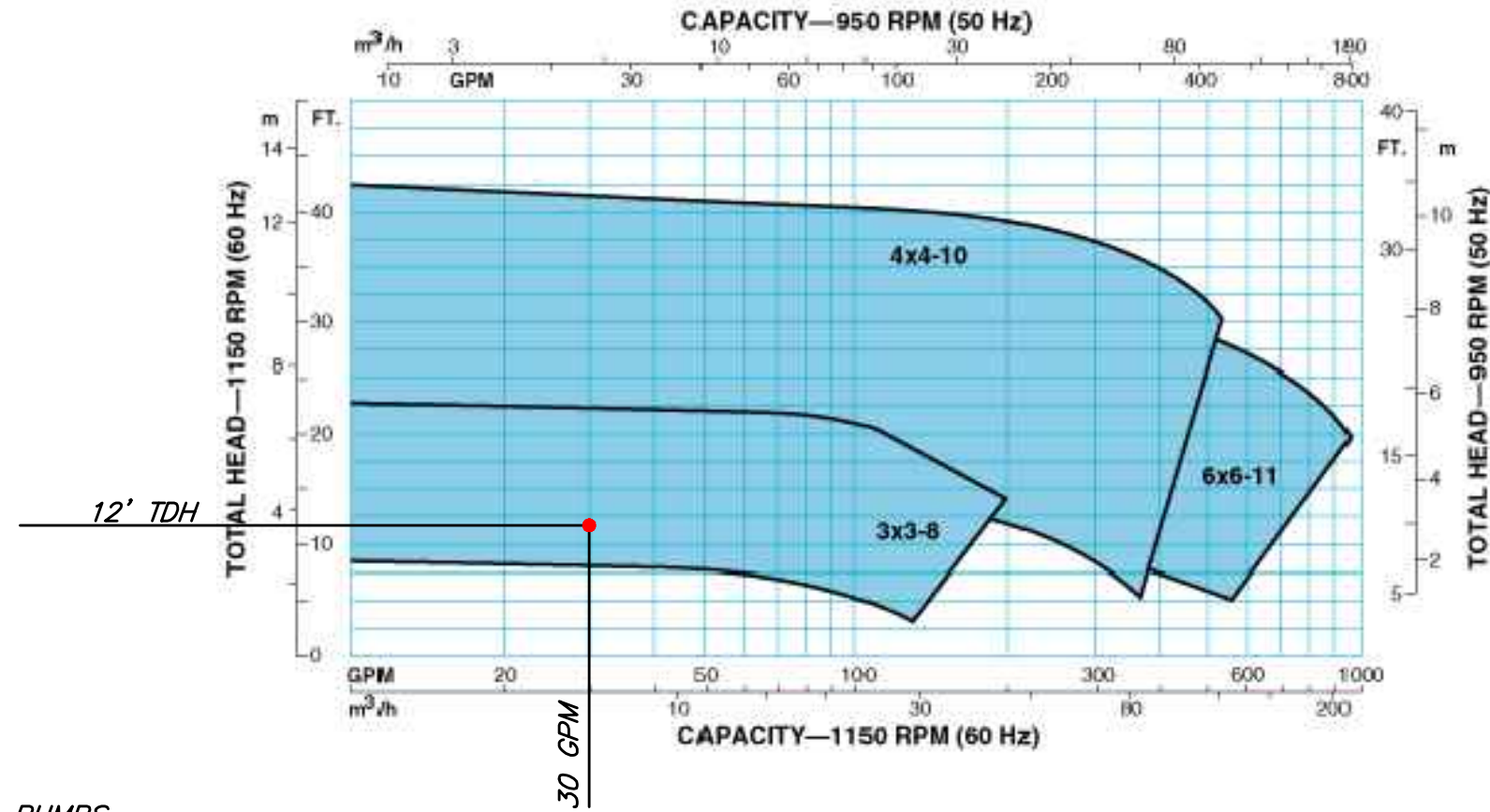
- SIDE PANELS TO BE INSTALLED ALONG SYSTEM PERIMETER, UNLESS OTHERWISE SPECIFIED.
- ALL HEIGHTS TO BE CUT FROM A 36\"/>

25 SERIES MODULE				
MODEL	HEIGHT (MM)	CAPACITY (M³)	NOMINAL VOID	NOMINAL WEIGHT (KG)
2512	12" (304.8)	4.216 CF (0.1194)	93.70%	17.56 LBS. (7.965)
2518	18" (457.2)	6.436 CF (0.1824)	95.50%	22.70 LBS. (10.29)
2524	24" (609.6)	8.656 CF (0.2454)	96.00%	26.30 LBS. (11.92)
2530	30" (762.0)	10.876 CF (0.3084)	96.50%	29.50 LBS. (13.38)
2533	33" (838.2)	11.986 CF (0.3399)	96.90%	29.82 LBS. (13.53)
2536	36" (914.4)	13.096 CF (0.3714)	97.00%	33.10 LBS. (15.01)

- MANUFACTURER NOTES:
1. REFERENCE CURRENT INSTALLATION INSTRUCTIONS FOR PROPER INSTALLATION PRACTICES.
- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWING.
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT www.CADdetails.com/info AND ENTER REFERENCE NUMBER 24618 93

BRENTWOOD TANK SYSTEM 25 SERIES

NOT TO SCALE

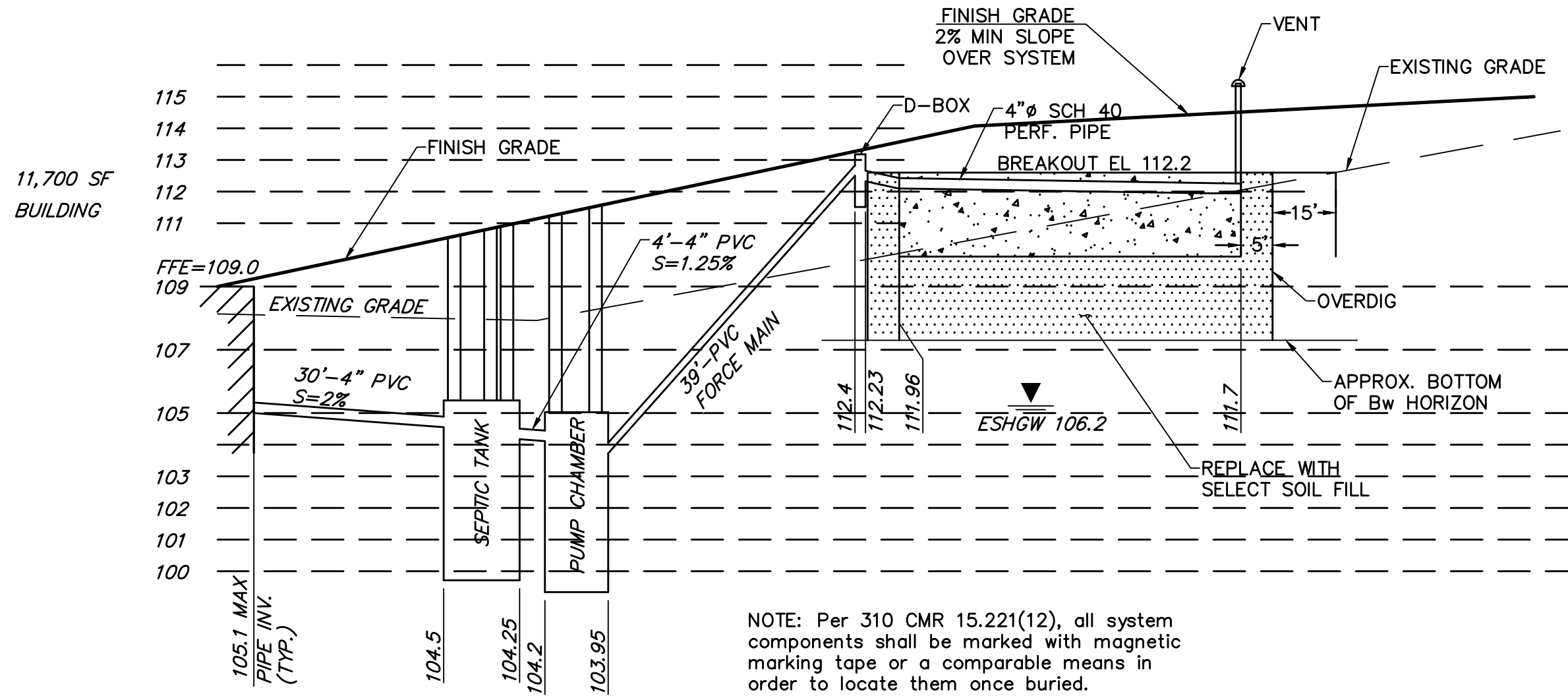


PUMPS

1. NO. OF PUMPS REQUIRED: 1
 2. STATIC HEAD: 12.54 FEET
 3. TOTAL DYNAMIC HEAD AT FLOW: 12' @ 30 GPM
 4. IMPELLER DIAMETER: 5.6 IN
 5. SOLIDS HANDLING: N/A
 6. MANUF./MODEL (OR EQUAL): GOULDS HSJ 3x3-8 0.5/1150 RPM
 7. HORSEPOWER/SPEED:
- NOTES:
1. PUMP SHALL BE INSTALLED WITH 3/4\"/>
- WORKING RANGE = PUMP ON - PUMP OFF = 101.37-100.87 = 0.5'
 WORKING VOLUME = 0.5' x 10' x 5' x 7.48GAL/CF = 187 GAL
 PUMP FLOW RATE (Q) = 30 GPM
 RUN TIME = DESIGN VOLUME / FLOW RATE = 187 GAL / 30 GPM = 6.2 MIN
 STATIC HEAD LOSS = D-BOX INLET - PUMP OFF = 112.4-100.87 = 11.53 FT
 FRICTIONAL HEAD LOSS = FORCEMAIN LOSS
 MATERIAL COEFFICIENT (C) = 150 (PVC FORCEMAIN)
 FORCE MAIN DIAMETER (D) = 3 IN
 FORCEMAIN LENGTH = 39 FT
 EQUIVALENT LENGTH OF FITTINGS = 38 FT
 (2)-90° ELBOW (16'), (1)-GATE VALVE (2'), (1)-CHECK VALVE(20')
 DESIGN PIPE LENGTH (L) = 39 FT + 38 FT = 77 FT
 FRICTIONAL HEAD LOSS = 0.2083 x L/100 x (Qx100/C)^1.852 / D^4.8655 = 0.20 FT
 TOTAL DYNAMIC HEAD = STATIC + FRICTIONAL = 11.61 + 0.20 = 11.81 ~ 12 FT

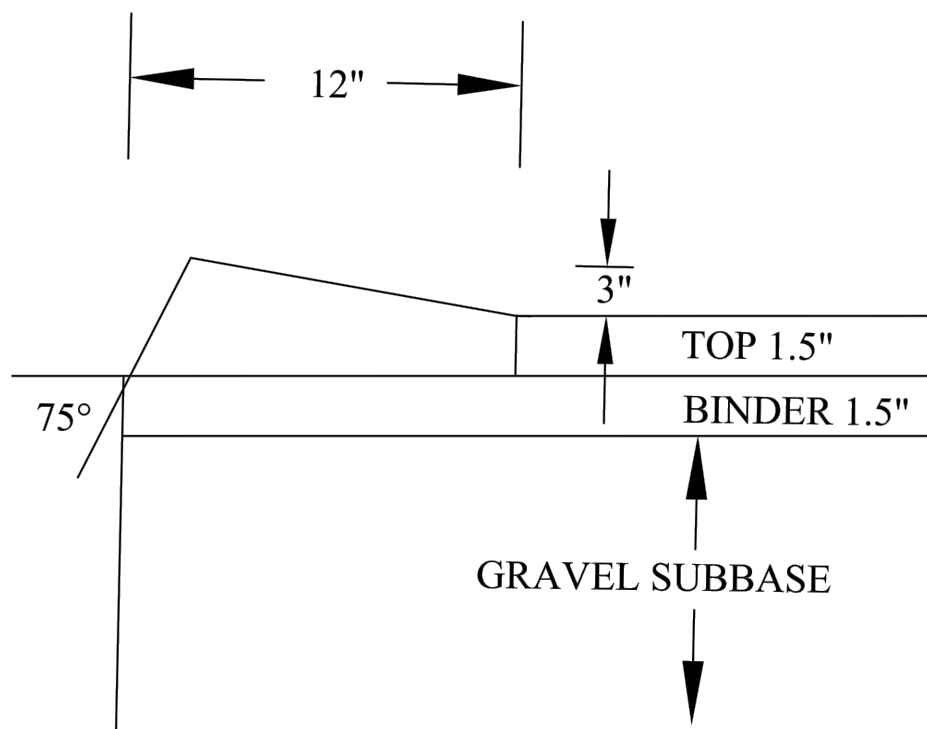
PUMP SPECIFICATIONS

(310 CMR 15.231)



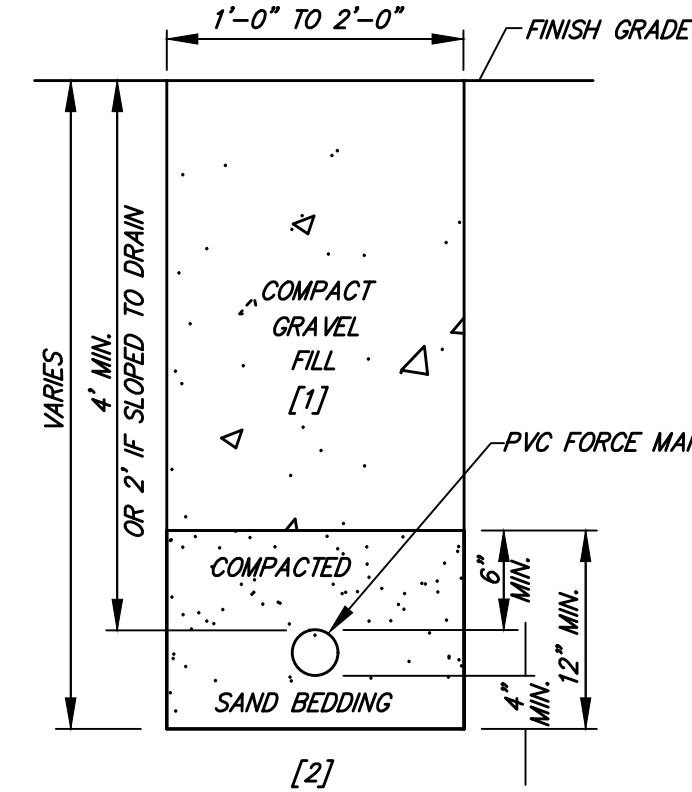
FLOW PROFILE

TYPICAL CROSS SECTION
VERTICAL SCALE: 1" = 4'
HORIZONTAL SCALE: 1" = 20'



CAPE COD BERM

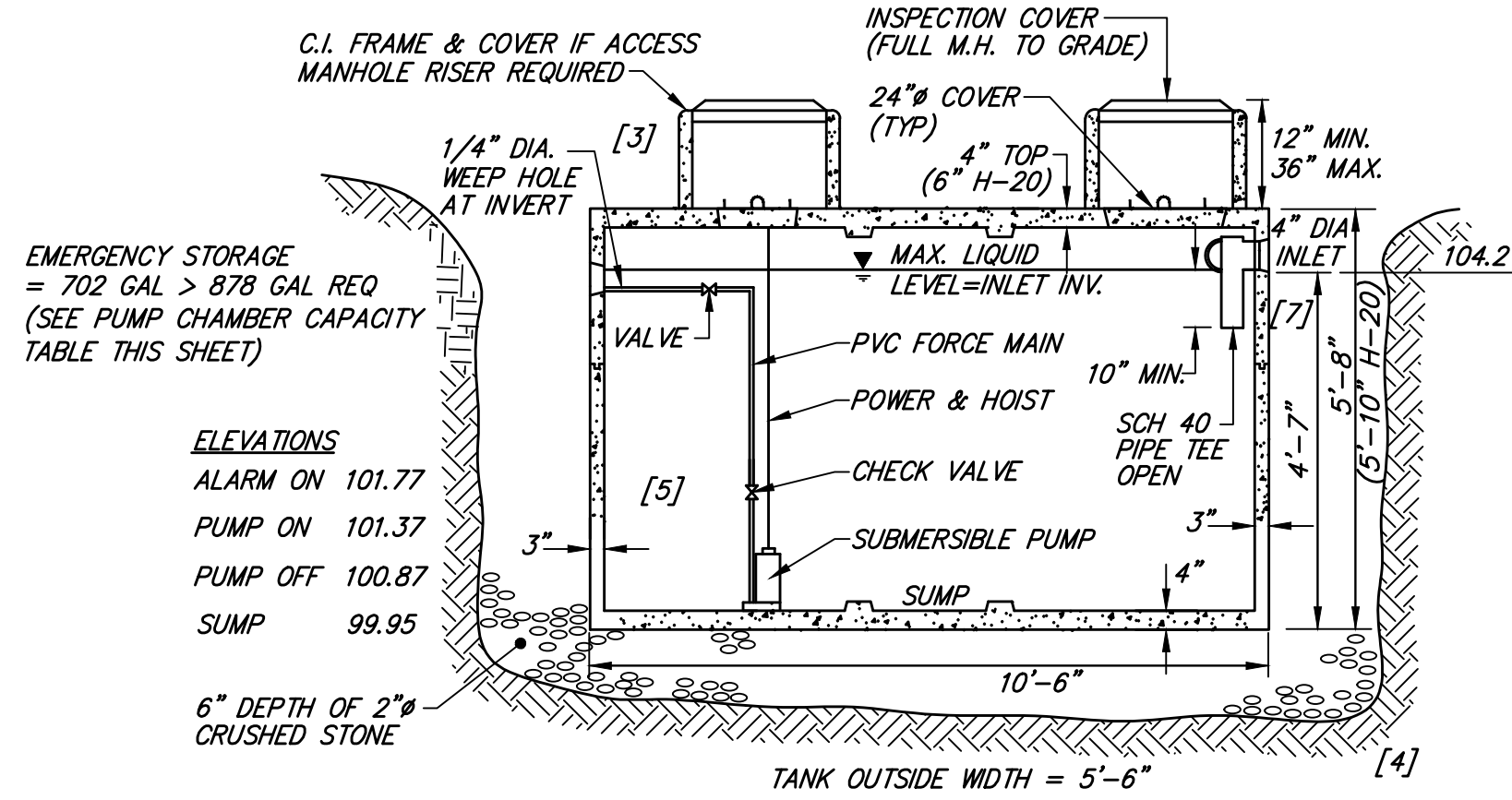
NOT TO SCALE



- [1] WHERE UNDER OR ADJACENT AREA TO BE PAVED, COMPACT BACKFILL TO 95% PER ASTM D-1557.
 [2] UNDISTURBED SOIL OR SUBGRADE COMPACTED TO 95% PER ASTM D-1557.

FORCE MAIN TRENCH

TYPICAL CROSS SECTION
NOT TO SCALE



- [1] PRECAST REINFORCED CONCRETE CONSTRUCTION, LOAD RATING: H20 FULLY DAMP-PROOFED EXTERIOR, ALL OPENINGS SEALED WATERTIGHT, AS MANUFACTURED BY E.F. SHEA OF WILMINGTON, MA., OR EQUAL.
 [2] MANHOLE RISER REQUIRED: NO
 [3] WHERE UNDER OR ADJACENT AREA TO BE PAVED, COMPACT BACKFILL TO 95% PER ASTM D-1557.
 [4] UNDISTURBED SOIL OR SUBGRADE COMPACTED TO 95% PER ASTM D-1557.
 [5] INSTALL SEPARATE RISER FOR FLOATS (REMOVABLE FOR INSPECTION & SERVICE).
 [6] FLOAT CONTROLS SHALL BE SUSPENDED FROM A STAINLESS STEEL FLOAT RACK.
 [7] IF SIDE INLET OF SEPTIC TANK IS USED, EXTEND INLET PIPE TO CENTER OF MANHOLE.
 [8] PUMP AND ALARM SHALL BE WIRED TO SEPARATE CIRCUITS.

1,500-GALLON MONOLITHIC DOSING CHAMBER

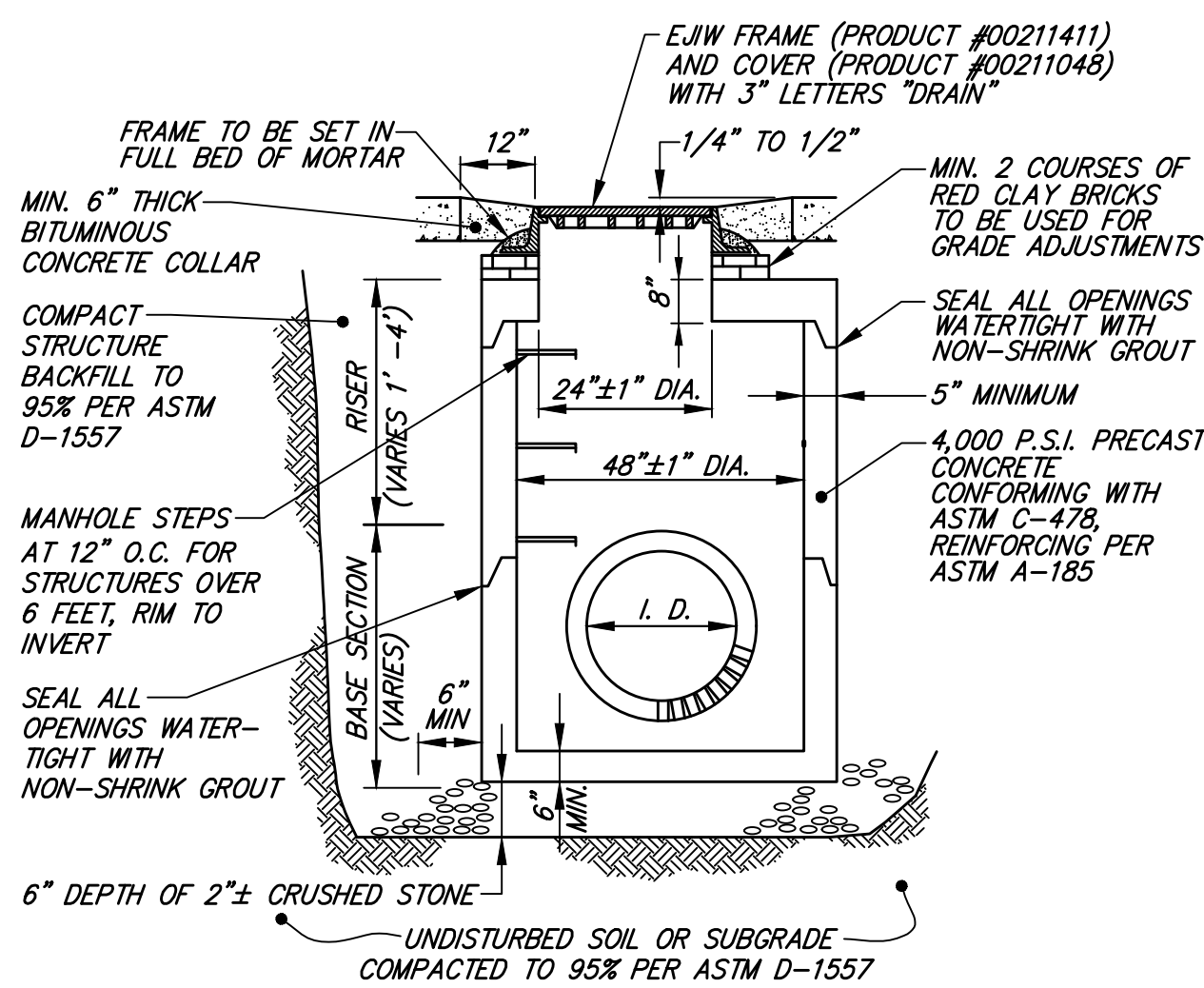
(310 CMR 15.231)
TYPICAL CROSS SECTION
NOT TO SCALE

DOSING CHAMBER VOLUME

1. FORCE MAIN LENGTH: 39 FT
2. FORCE MAIN DIAMETER: 3 IN
3. FORCE MAIN VOLUME: 14.3 GAL
4. DOSES PER DAY: 6
5. AVERAGE DAILY FLOW: 878 GPD
6. MIN. VOLUME PER DOSE: 146.3 GAL
7. DESIGN VOLUME PER DOSE (3. PLUS 6.): 160.6 GAL
8. EMERGENCY STORAGE REQUIRED (5.): 878 GAL
9. MIN. TOTAL VOLUME REQUIRED BELOW INLET (7. PLUS 8.): 1038.6 GAL
10. EMERGENCY STORAGE PROVIDED: (PIPE INVERT - ALARM ON) x FLOOR AREA = (104.2-101.77)x10'x5'x7.48GAL/CF = 908.8 GAL
11. USE CAPACITY: 1,500 GAL

PUMP CHAMBER CAPACITY

(310 CMR 15.254)



NOTE: CONICAL TOP MAY ALSO BE USED

DRAIN MANHOLE

TYPICAL CROSS SECTION
NOT TO SCALE

93 TENNEY
STREET

Georgetown, Massachusetts 01833

ASSESSORS:

MAP
15

LOT
136

PREPARED FOR:

DCD
DEVELOPMENT
LLC

53 Park Avenue
Middleton, Massachusetts 01949

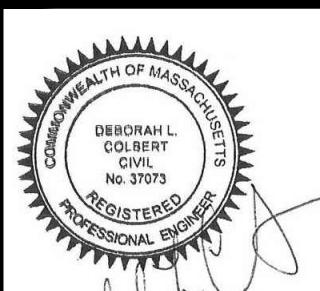
HANCOCK
ASSOCIATES

Civil Engineers

Land Surveyors

Wetland Scientists

185 CENTRE STREET, DANVERS, MA 01923
VOICE (978) 777-3050, FAX (978) 774-7816
WWW.HANCOCKASSOCIATES.COM



4/7/22

1	MRG	DLC	4/7/22	CON. COMM.	COMMENTS
1	MRG	DLC	4/7/22	PLANNING BOARD	COMMENTS
NO.	BY	APP	DATE	ISSUE/REVISION	DESCRIPTION
DATE:	2/16/22	DESIGN BY:	RD/DLC		
SCALE:	AS SHOWN	DRAWN BY:	MRG		
APPRVD. BY:	DLC	CHECK BY:	CEW		

DETAIL
SHEET

PLOT DATE: Apr 07, 2022 10:09 am
 PATH: C:\pdrive - Hancock Associates\Documents\Local Work\24618 Tenney\

DWG: 24618 93 SP.dwg

LAYOUT: DET 2

SHEET: 6 OF 6

PROJECT NO.:

24618

C4