

GEORGETOWN RETAIL

65 Central Street

Georgetown, MA

BUILDING RENDERING



DESIGN TEAM

ARCHITECT

J.D. LaGRASSE & ASSOCIATES Inc.
1 ELM SQUARE ANDOVER, MA 01810
978-470-3675

GENERAL CONTRACTOR

BUILD-IT CONSTRUCTION
73 NEWTON RD. PLAISTOW NH
603-974-1798

STRUCTURAL ENGINEER

GELINAS STRUCTURAL ENGINEERING LLC
579A NORTH END ROAD
SALISBURY MA 01952
978-465-6436

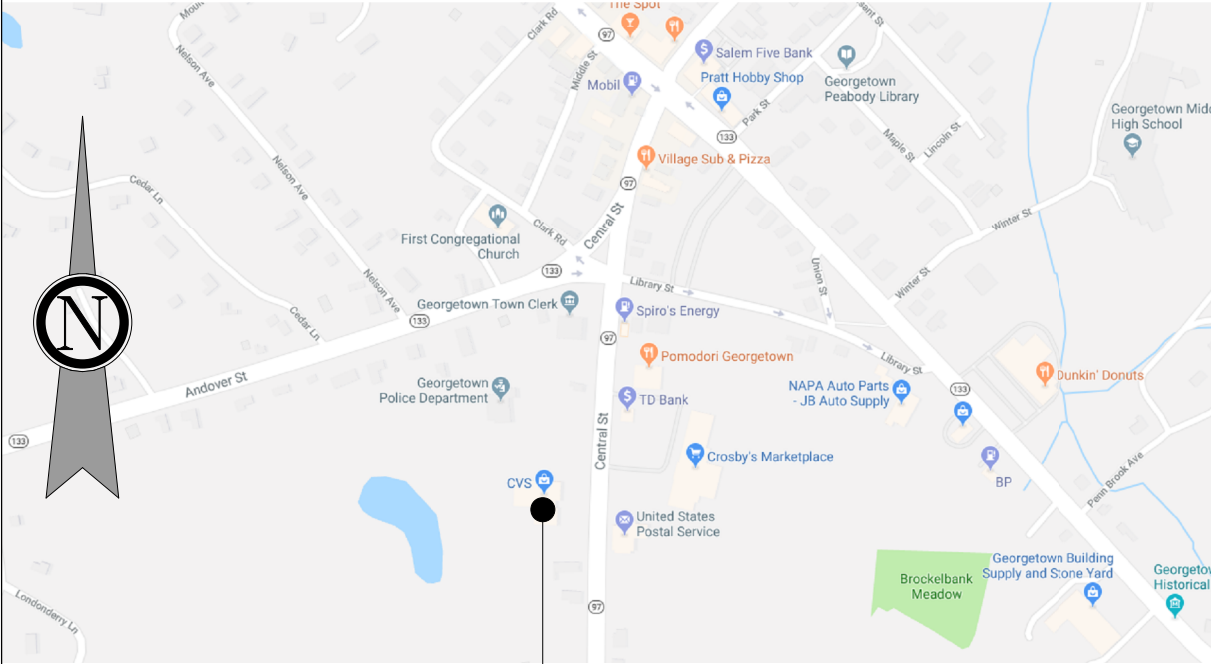
MEP

DESIGN BUILD

FIRE PROTECTION

DESIGN BUILD

LOCUS PLAN



65 CENTRAL STREET

SHEET LIST

SHEET NUMBER	SHEET NAME	DATED ISSUED	ISSUED FOR	DATE REVISED	COMMENTS
01 GENERAL					
G000	COVER SHEET	12 MARCH 2019	ZBA REVIEW		
G001	CODE COMPLIANCE	12 MARCH 2019	ZBA REVIEW		
G002	GENERAL NOTES & LEGENDS	12 MARCH 2019	ZBA REVIEW		
G005	LIFE SAFETY PLAN	12 MARCH 2019	ZBA REVIEW		
G006	MAAB	12 MARCH 2019	ZBA REVIEW		
G007	PROPOSED SITE UTILITIES & LIGHTING	12 MARCH 2019	ZBA REVIEW		
05 ARCHITECTURAL					
A100	PROPOSED LANDSCAPING PLAN	30 JANUARY 2019	ZBA REVIEW		
A101	PROPOSED FIRST FLOOR PLAN	12 MARCH 2019	ZBA REVIEW		
A102	PROPOSED SECOND FLOOR PLAN	12 MARCH 2019	ZBA REVIEW		
A200	PROPOSED ELEVATIONS	12 MARCH 2019	ZBA REVIEW		
D100	FIRST FLOOR DEMOLITION PLAN	12 MARCH 2019	ZBA REVIEW		
D101	SECOND FLOOR DEMOLITION PLAN	12 MARCH 2019	ZBA REVIEW		
D200	EXTERIOR ELEVATIONS - EXISTING + DEMO	12 MARCH 2019	ZBA REVIEW		
06 CIVIL					
C001	EXISTING SITE PLAN-STAMPED	12 MARCH 2019	ZBA REVIEW		
C100	SEPTIC SITE PLAN	12 MARCH 2019	ZBA REVIEW		
C200	SEPTIC DETAILS	12 MARCH 2019	ZBA REVIEW		

MEP NARRATIVE

NOTE:
ALL MEP / FP WORK TO BE DESIGN-BUILD BY CONTRACTOR

SEPTIC USE SUMMARY CALCULATIONS

EXISTING SEPTIC SYSTEM:
1,890 GALLONS PER DAY (GPD) ALLOWED

PROPOSED USE CALCULATIONS (STATE):
1ST FLOOR RETAIL:
12,360 SF @ 50 GPD/1,000 SF = **618 GPD REQUIRED**
2ND FLOOR RESIDENTIAL:
(12) BEDROOMS X 110 GPD PER BDRM. = **1320 GPD REQUIRED**
TOTAL GPD REQUIRED FOR PROPOSED USE = 1938 GPD

PROPOSED USE CALCULATIONS (LOCAL):
1ST FLOOR RETAIL:
12,360 SF @ 50 GPD/1,000 SF = **618 GPD REQUIRED**
2ND FLOOR RESIDENTIAL:
(12) BEDROOMS X 165 GPD PER BDRM. = **1980 GPD REQUIRED**
TOTAL GPD REQUIRED FOR PROPOSED USE = 2598 GPD

RESERVE AREA CALCULATIONS:
1938 GPD @ 0.60 GPD/S.F. = 3230 S.F.
WITH 25% REDUCTION = 2423 S.F.

NOTE: REFER TO CALCULATIONS PROVIDED ON FINAL SEPTIC DESIGN FEBRUARY 9, 2019

SAFEGUARD NARRATIVE

IN CONFORMANCE WITH CHAPTER 33 IBC 2015, 780 CMR 33.00 AND NFPA-241 REFERENCED IN 780 CMR 35.00 THE FOLLOWING WILL BE DONE TO SAFEGUARD AGAINST FIRES DURING CONSTRUCTION, ALTERATIONS AND DEMOLITION OF 65 CENTRAL STREET, GEORGETOWN MA, WHICH SHALL BE REGULATED BY 780 CMR OF THE 9th EDITION OF THE MASSACHUSETTS STATE BUILDING CODE.

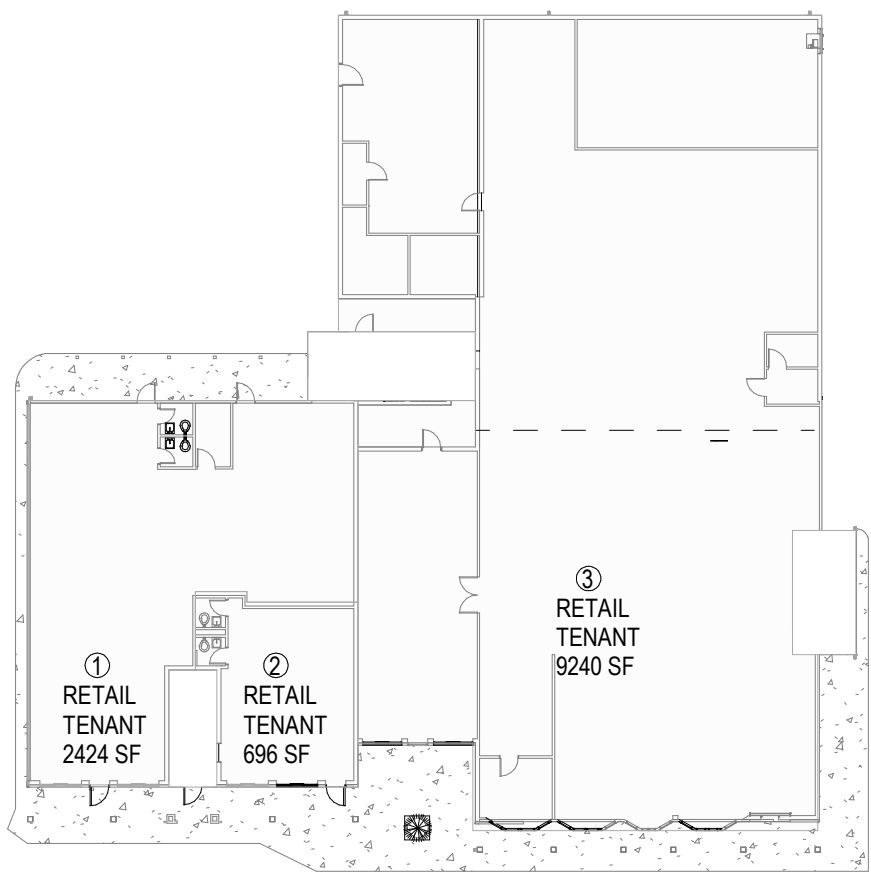
"REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING REMODELING, ALTERATIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE" AS PER THE CODES REFERENCED ABOVE.

EXISTING FIRE PROTECTION SYSTEMS ARE ALL IN COMMUNICATION WITH THE FIRE ALARM CONTROL PANEL, THE REMOTE ANNUNCIATORS AND THE MASTER BOX.

DURING DEMOLITION AND CONSTRUCTION THE EXISTING DEVICES WILL BE COVERED TO PREVENT CONTAMINATION BY DUST. THEY WILL BE UNCOVERED AT THE END OF EACH WORK DAY TO ENSURE THAT THE SPACE IS SAFEGUARDED AGAINST FIRE. THE SPRINKLER SYSTEM WILL STAY FULLY INATCT AND FULLY FUNCTIONAL UNLESS WORK IS BEING PERFORMED ON THE SYSTEM, HOWEVER THE SYSTEM WILL BE FULLY OPERATIONAL AT THE END OF EACH DAY.

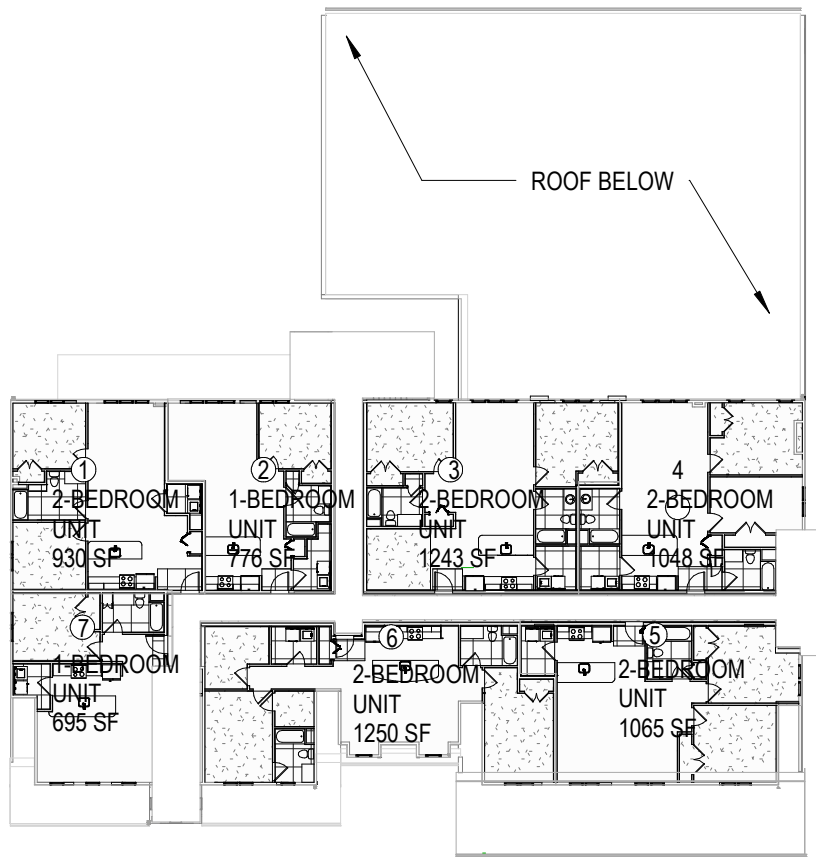
ALL NECESSARY PRECAUTIONS WILL BE TAKEN TO ENSURE THAT ALL FIRE PROTECTION DEVICES WILL BE PRESERVED AND FUNCTION AT ALL TIMES IN ORDER TO ADHERE TO THE CODES LISTED ABOVE AND LIFE SAFETY 101.

OCCUPANCY



FIRST FLOOR
COMMERCIAL RETAIL: 3 TOTAL UNITS

① USE/OCCUPANCY FIRST FLOOR
1/32" = 1'-0"



SECOND FLOOR
MULTI-FAMILY: 7 TOTAL UNITS

② USE/OCCUPANCY SECOND FLOOR
1/32" = 1'-0"

PLANNING BOARD SIGNATURE

AREA CALCULATIONS	
FIRST FLOOR	
RETAIL TENANT 1	2424 SF
RETAIL TENANT 2	696 SF
RETAIL TENANT 3	9240 SF
FIRST FLOOR TOTAL	12,360 SF
SECOND FLOOR	
2-BEDROOM UNIT 1	930 SF
1-BEDROOM UNIT 2	776 SF
2-BEDROOM UNIT 3	1243 SF
1-BEDROOM UNIT 4	1048 SF
2-BEDROOM UNIT 5	1085 SF
2-BEDROOM UNIT 6	1250 SF
1-BEDROOM UNIT 7	695 SF
TOTAL SECOND FLOOR	7,007 SF
TOTAL	19,367 SF

J.D. LaGrasse & Associates, Inc.
Architects - Engineers - Interiors - Land Planning
One Elm Square, Andover, MA 01810
T. 978-470-3675 F. 978-470-3670
www.jdgrassearchitects.com



GEORGETOWN
RETAIL

65 CENTRAL ST. GEORGETOWN, MA

prepared for: CPI FUNDS
Location: 65 CENTRAL STREET, GEORGETOWN MA
title
COVER SHEET

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Mark	Date
Revisions	
Date	30 JANUARY 2019
Scale	As indicated
Job No.	2702
Sheet No.	

G000

EXISTING BUILDING CODE REVIEW

CODE REVIEW

	Light (Low) Hazard Occupancy
Minimum Rated Single Extinguisher	2-A
Maximum Floor Area per Unit of A	3,000 SF
Maximum Floor Area for Extinguisher	11,250 SF
Maximum Travel Distance to Extinguisher	75 Feet

1017.2 TRAVEL DISTANCE LIMITATIONS
The existing building complies with the allowable 250' max. travel distance per Table 1017.2 with a M Occupancy and Automatic Sprinkler System.

G001

SPECIFICATION:									
SECTION 011000 - PROJECT REQUIREMENTS									
SUMMARY									
Project scope includes replacement of exterior siding and associated trims, soffit, fascia where shown. Selected doors and windows will be replaced, refer to drawings for extent. Included in the scope of work is the replacement of damaged roof trusses and a portion of the supporting perimeter sill plate. Renovation of the second floor includes office space which will be converted into (7) seven R-2 residential units. All construction activities should be scheduled and managed to minimize disruption of business operations of the other retail tenants and CVS store presently on the north side of the first floor.									
Project Requirements									
1. Existing Site Conditions and Restrictions: Customer parking and access to be maintained at all times.									
2. Contractor's Use of Premises: rear parking lot of site to be used for temporary storage and deliveries.									
Maintain access for vehicles leaving pharmacy drive through									
3. Reference Drawings and Reports: Refer to Drawing Set and Specification dated 2018, XX-XX									
4. CVS Tenant Building Requirements and access to mechanical space within CVS tenant space to be coordinated with tenant; security and access plan to be stipulated in writing prior to the commencement of work.									
Contracting Requirements:									
1. Owner's Instructions For Bidding: AIA G612, issued separately									
2. Owner-Contractor Agreement -- AIA A101, issued separately									
3. Conditions of Contract -- AIA A201, issued separately.									
Intent:									
1. Drawings and specifications are intended to provide the basis for the proper completion of the Project									
suitable for the intended use of the Owner.									
2. Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.									
Coordination:									
1. Coordinate the work of all trades.									
2. Prepare coordination drawings for areas above ceilings where close tolerances are required between building elements and mechanical and electrical work.									
3. Verify location of utilities and existing conditions. Notify Architect of conditions differing from those indicated on the Drawings.									
4. Verify dimensions on Drawings with dimensions at the Project. Do not scale Drawings.									
Cutting and Patching:									
1. Provide cutting and patching work to properly complete the Project.									
2. Do not remove or alter structural components without written approval.									
3. Cut with tools appropriate for materials to be cut.									
4. Patch with materials and methods to produce patch which is not visible from a distance of five feet.									
5. Do not cut and patch in a manner that would result in a failure of the work to perform as intended, decrease fire performance, decrease acoustical performance, decrease energy performance, decrease operational life, or decrease safety factors.									
Field Engineering:									
1. Verify and locate utilities, existing facilities, and equipment.									
2. Survey and layout improvements, utilities, structures, and components.									
Project Meetings:									
1. Arrange for a preconstruction conference prior to start of construction. Meeting shall be attended by Owner, Architect, Contractor, and major subcontractors.									
2. Arrange for progress meetings once a month during construction, prior to application for payment.									
Record minutes and distribute promptly.									
Submittals:									
1. Submit a project schedule within 30 days of Project award and update at least monthly.									
2. Submit for approval all submittals listed in individual sections. Submit electronically, in PDF format, maximum size 11x17. Submittals shall clearly indicate deviations from requirements of the Contract Documents. Submittals shall include details of construction and adjacent construction as applicable. For physical samples, submit 3 representative samples. For submittals which require larger paper size for proper review, submit 3 printed copies.									
3. Timing of Submittals: Submit to allow at least 10 business days for review and handling. Submittals which have to be reviewed by the Architect and one of his consultants require at least 20 business days for review and handling. Add ten business days for each additional consultant which must review a submission.									
4. Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", mark action, and return to Contractor. Architect will review submittals only for conformance with the design concept of the project. The Contractor is responsible for confirming compliance with other Contract requirements, including without limitation, performance requirements, field dimensions, fabrication methods, means, methods, techniques, sequences and procedures of construction, coordination with other work. The Architects review and approval of submittals shall be held to the limitations stated in the Owner/Architect Agreement and the Conditions of the Contract. In no case shall approval or acceptance by the Architect be interpreted as a release of Contractor of his responsibilities to fulfill all of the requirements of the Contract Documents.									
5. Required Resubmittal: Unless submittal is noted "reviewed and approved" or "reviewed and approved except as noted, resubmission not required," make corrections or changes to original and resubmit to Architect.									
6. Distribution: When a submittal is noted "approved" or "approved as noted," resubmittal not required, make prints or copies and distribute to Owner, Subcontractors involved, and to all other parties requiring information from the submittal for performance or coordination of related work. Print shop drawings for distribution only from the final approved reproducible.									
7. Include details of construction and adjacent construction in shop drawings. Clearly indicate any deviations from requirements of the contract documents. Fabricate materials from approved shop drawings only.									
Request For Interpretation (RFIs):									
1. Procedure: Immediately on discovery of the need for interpretation of the Contract Documents, and if not possible to request interpretation at Project meeting, prepare and submit an RFI in the form specified.									
2. RFIs shall originate with Contractor. RFIs submitted by entities other than Contractor will be returned with no response.									
3. Content of the RFI shall include a detailed, legible description of item needing interpretation.									
4. Architect will review each RFI, determine action required, and return it. Allow three working days for Architect's response for each RFI. RFIs received after 1:00 p.m. will be considered as received the following working day.									
5. The following RFIs will be returned without action:									
a. Requests for approval of submittals.									
b. Requests for approval of substitutions.									
c. Requests for coordination information already indicated in the Contract Documents.									
d. Requests for adjustments in the Contract Time or the Contract Sum.									
e. Requests for interpretation of Architect's actions on submittals.									
f. Incomplete RFIs or RFIs with numerous errors.									
Quality Assurance:									
1. Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction, including accessibility guidelines where applicable. Submit copies of inspection reports, notices and similar documents to Architect.									
2. Provide products of acceptable manufacturers which have been in satisfactory use in similar service for three years.									
3. Use experienced installers. Furnish evidence of experience if requested.									
4. Deliver, handle, and store materials in strict accordance with manufacturer's instructions.									
5. Use of any supplier or subcontractor is subject to Owner's approval.									
6. Engage and pay for testing agencies as required. Refer to individual sections for additional requirements.									
Temporary Facilities:									
1. Provide temporary facilities and connections as required for the proper completion of the project.									
2. Provide and maintain temporary utility services.									
3. Meter and pay for utility service. Do not waste.									
4. Provide temporary protection for adjacent areas to prevent contamination by construction dust and debris.									
5. Provide temporary barricades as necessary to ensure protection of the public.									
6. Provide suitable waste disposal units and empty regularly. Do not permit accumulation of trash and waste materials.									
7. Provide temporary sanitary facilities.									
8. Use of designated existing sanitary facilities in building is acceptable.									
9. Maintain egress within and around construction areas.									
10. Maintain fire alarm systems in operation during construction.									
11. Provide fire extinguishers in work areas during construction.									
12. Provide temporary protection for adjacent construction. Promptly repair any damage at no additional cost to the Owner.									
Products and Substitutions:									
1. Provide products and materials specified. Request Architect's selection of colors and accessories in sufficient time to avoid delaying progress of the Work.									
2. Submit requests for substitutions shall be in writing, including reasons. Submit sufficient information for Architect to evaluate proposed substitution.									
3. Remove and replace work which does not conform to the contract documents at no additional expense to the Owner.									
Installation:									
1. Inspect substrates and report unsatisfactory conditions in writing.									
2. Do not proceed until unsatisfactory conditions have been corrected.									
3. Take field measurements prior to fabrication where practical. Form to required shapes and sizes with true edges, lines and angles. Provide inserts and templates as needed for work of other trades.									
4. Install materials in exact accordance with manufacturer's instructions and approved submittals.									
5. Install materials in proper relation with adjacent construction and with proper appearance.									
6. Restore units damaged during installation. Replace units which cannot be restored at no additional expense to the Owner.									

JD LaGrasse & Associates, Inc.

Architects - Engineers - Interiors - Land Planning
One Elm Square, Andover, MA 01810
T. 978-470-3675 F. 978-470-3670
www.lagrasearchitects.com

REGISTERED ARCHITECT
MASSACHUSETTS
No. 20010
SALEM
MASSACHUSETTS

GEORGETOWN
RETAIL

65 CENTRAL ST. GEORGETOWN, MA

prepared for: CPJ FUNDs

location: Approver

title

JD LAI 2018

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Mark

Date

Revisions

Date

16 OCTOBER 2018

Scale

1/4" = 1'-0"

DR No.

2702

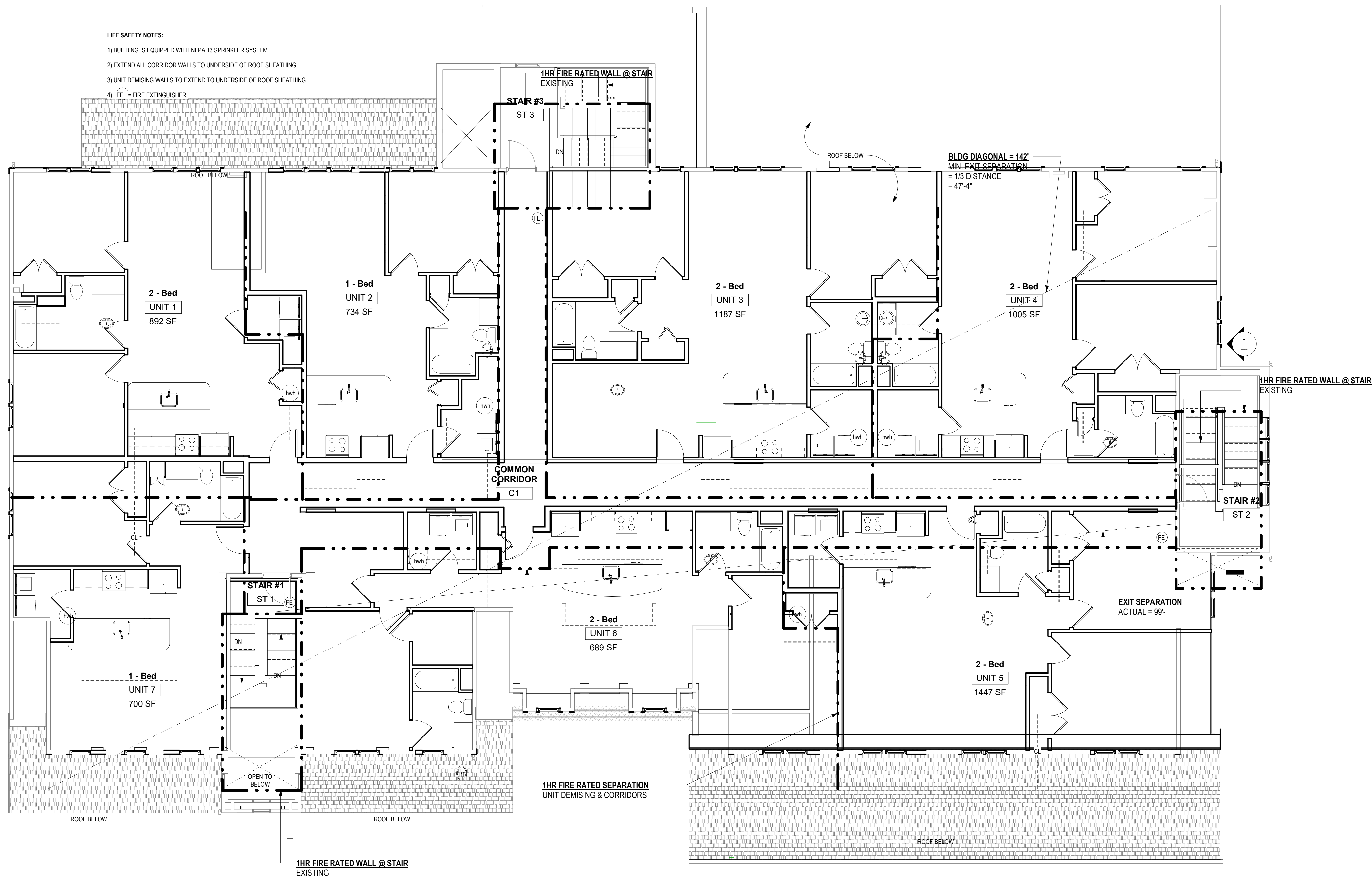
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G003

SPECIFICATION (CONT'D.):																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
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1 SECOND FLOOR - LIFE SAFETY PLAN
3/16" = 1'-0"



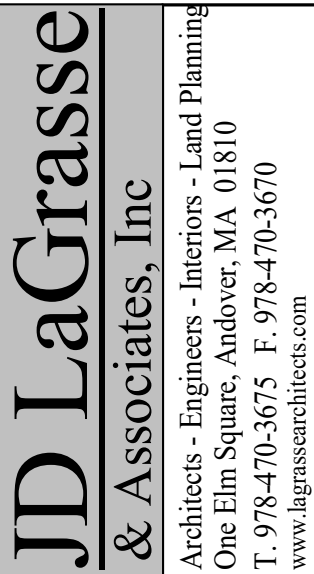
LIFE SAFETY PLAN

Prepared for: CPI FUNDS
Location: Approver
Title

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Mark	Date	Revisions
	30 JANUARY 2019	
	Scale: 3/16" = 1'-0"	
	Job No. 2702	
	Sheet No.	

G005



GEORGETOWN
RETAIL

65 CENTRAL ST. GEORGETOWN, MA

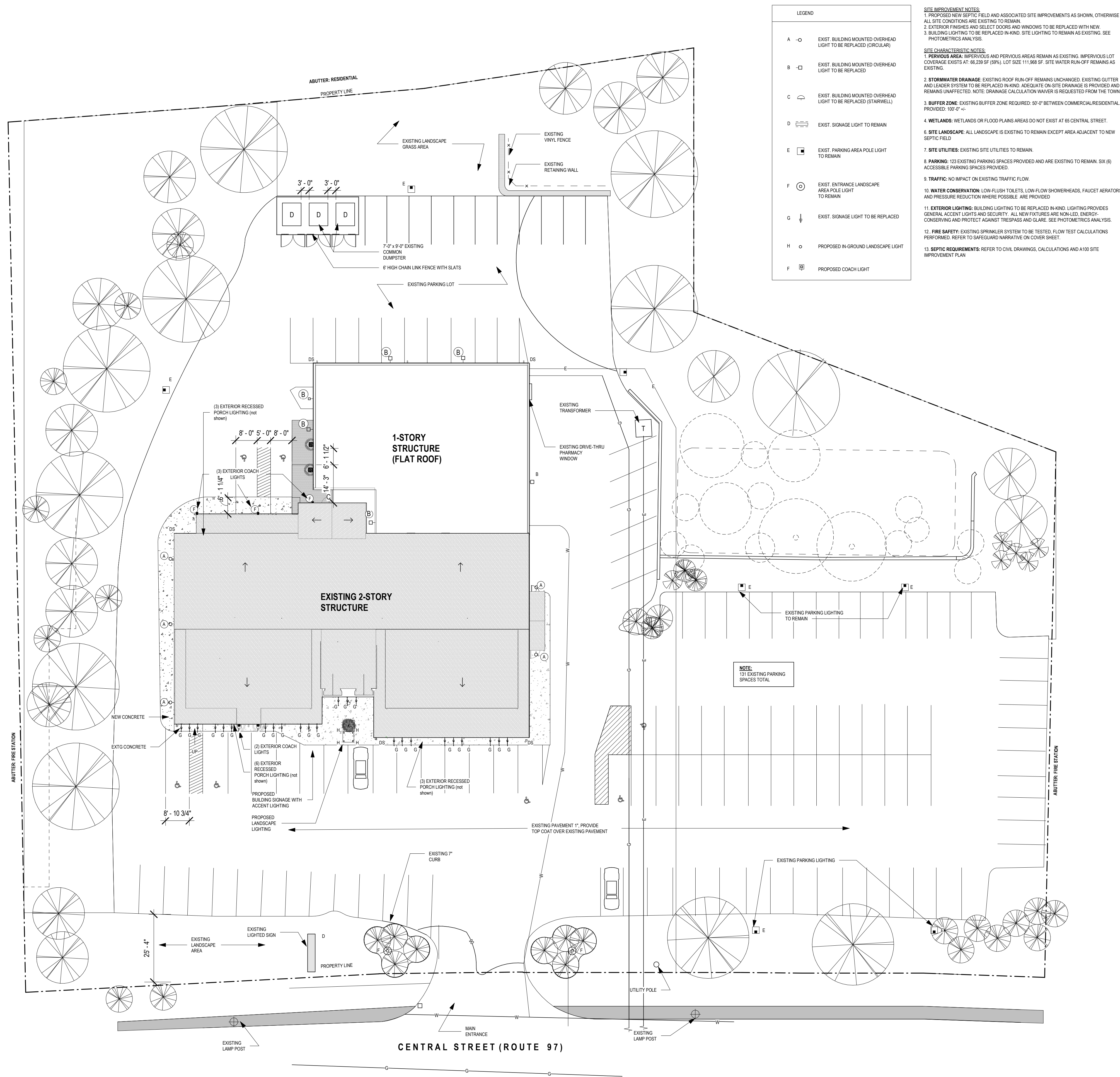
PROPOSED SITE UTILITIES & LIGHTING

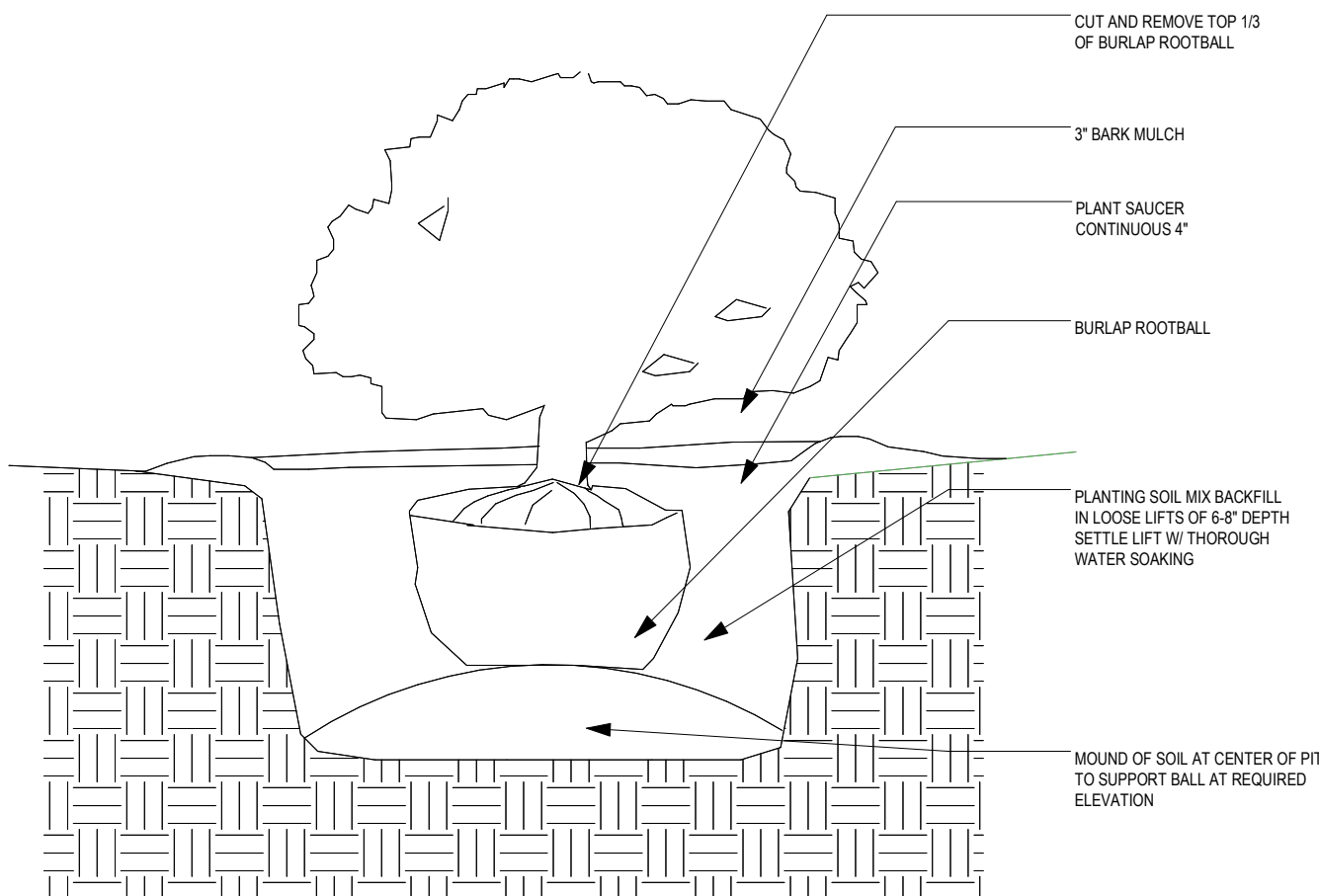
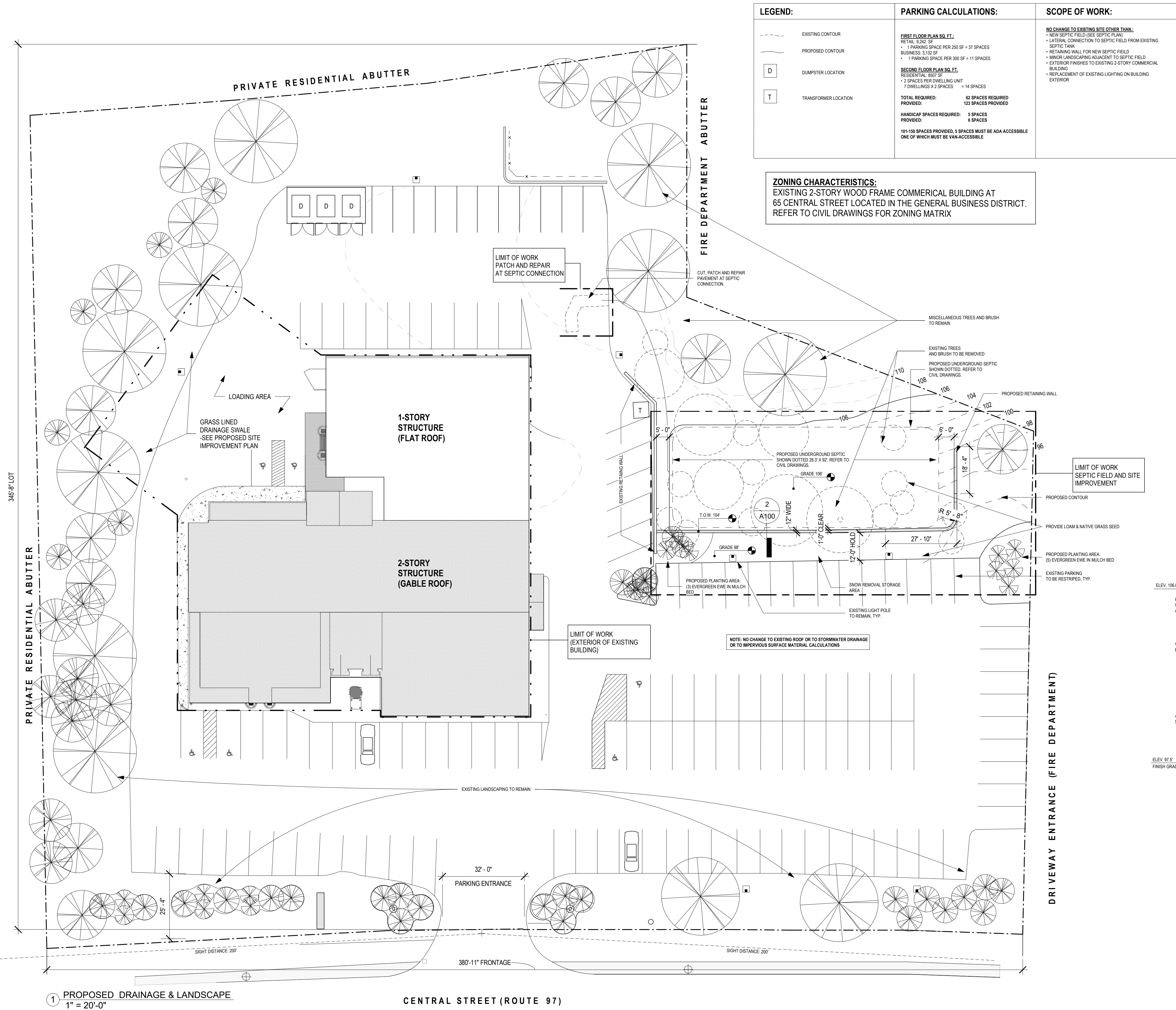
prepared for:	3D VIEW
location:	Approver
title	

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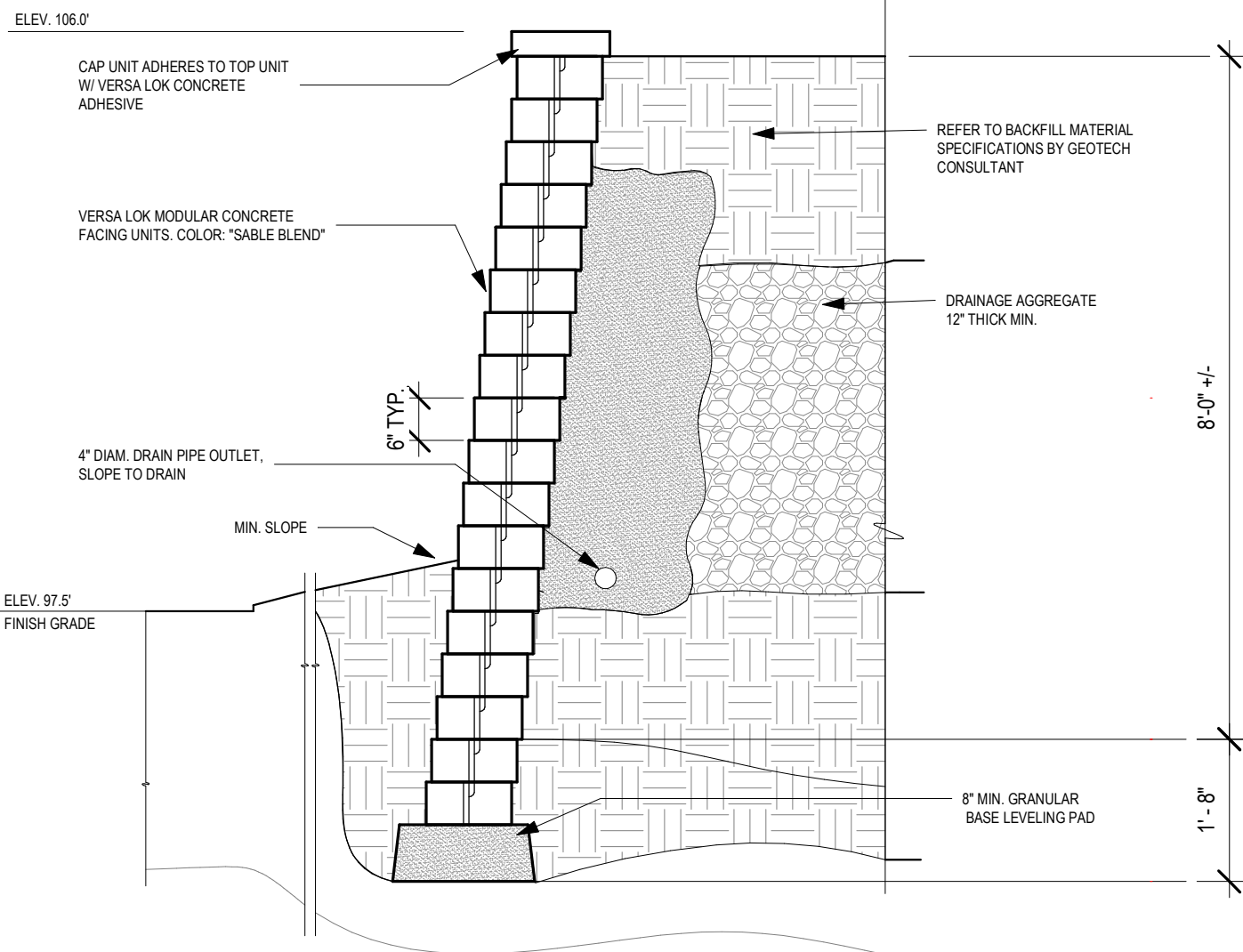
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Revisions Date 12 MARCH 2019 Scale 1" = 20'-0" Job No. 2702	
Sheet No.	

G007

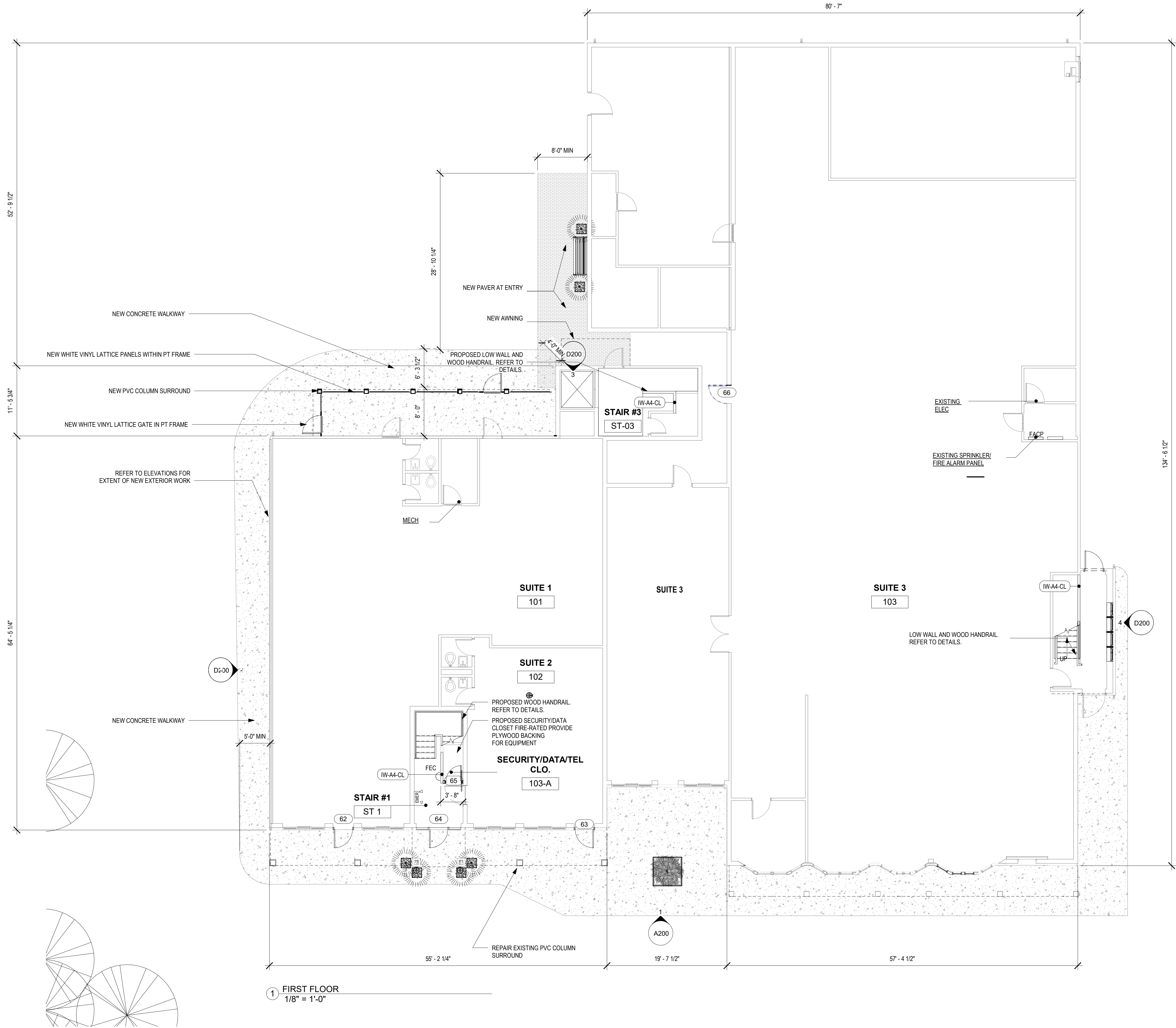




4 PLANTING DETAIL 2
1" = 1'-0"



2 RETAINING WALL SECTION DETAIL
1/2" = 1'-0"



1 FIRST FLOOR
1/8" = 1'-0"



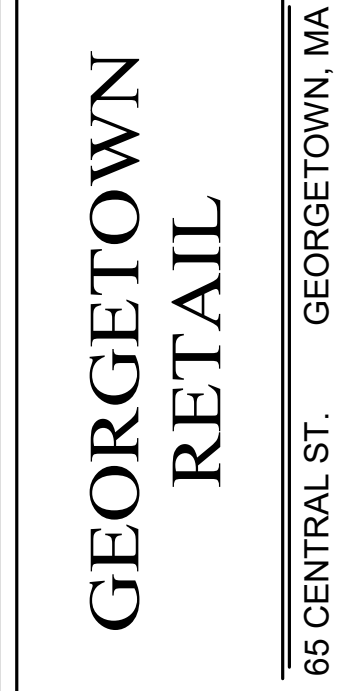
**GEORGETOWN
RETAIL**
65 CENTRAL ST. GEORGETOWN, MA

prepared for: 3D VIEW
location: 65 CENTRAL STREET, GEORGETOWN MA
title: **PROPOSED FIRST FLOOR
PLAN**

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Revisions	
Date	12 MARCH 2019
Scale	1/8" = 1'-0"
Job No.	2702
Sheet No.	

A101




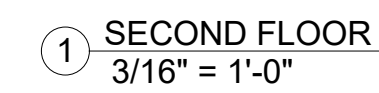
Prepared for: CPI FUNDS
Location: Approver
title

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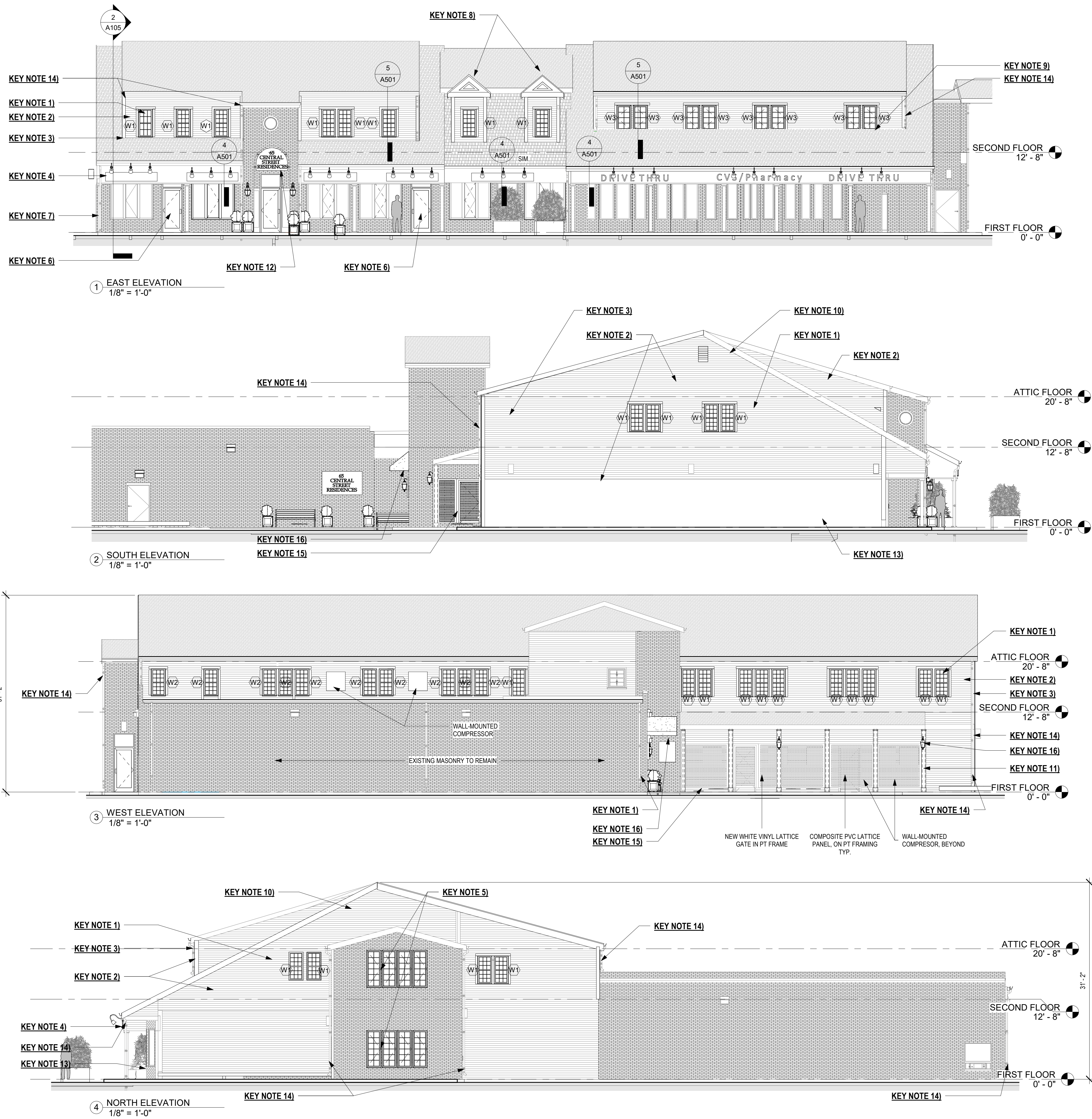
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Revisions	
Date	30 JANUARY 2019
Scale	As indicated
Job No.	2702
Sheet No.	

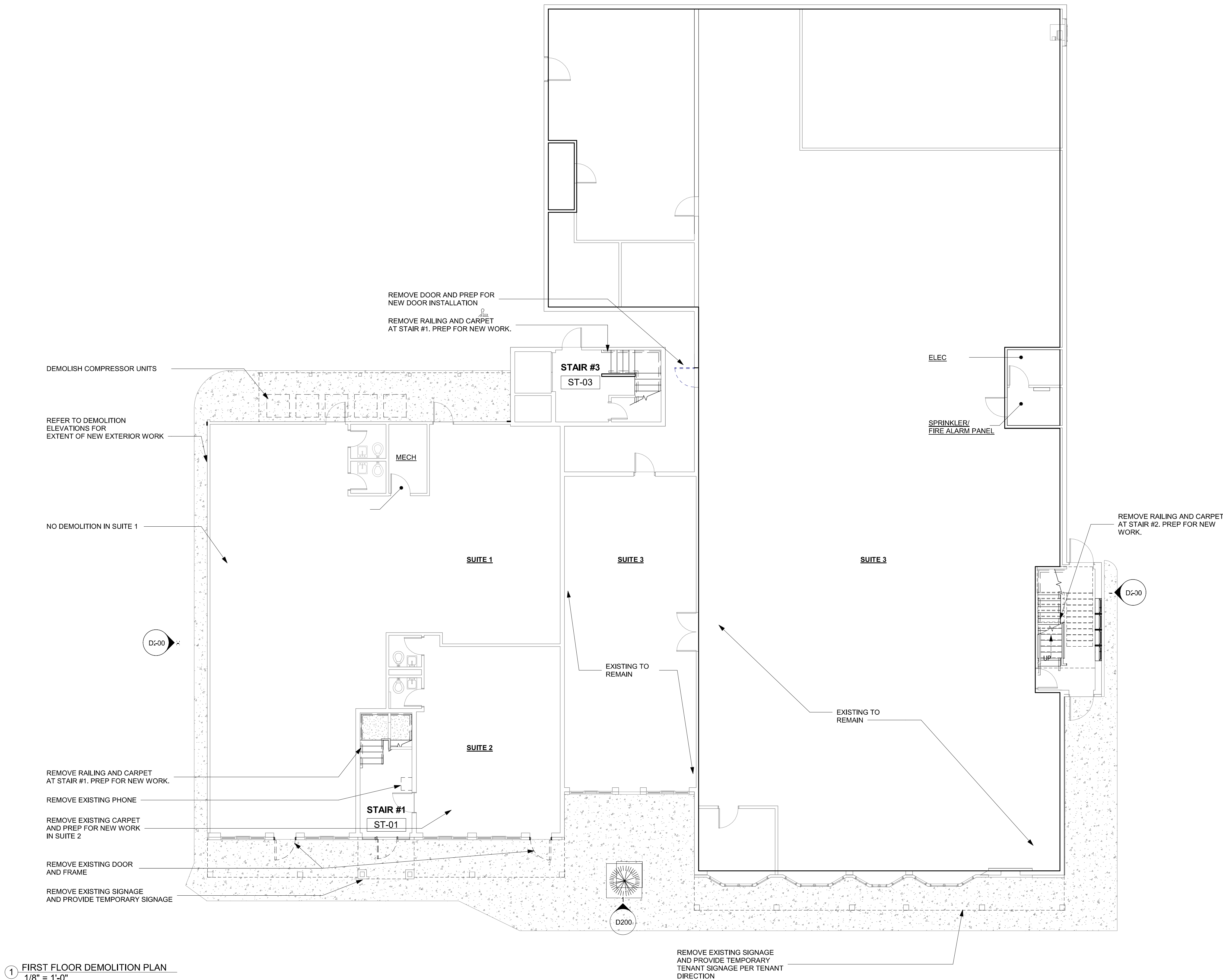
A102



ELEVATION KEY NOTES

- 1) NEW VINYL WINDOW, SEE A700 FOR SIZE; PROVIDE NEW 3 1/2" PVC TRIM w/ CONCEALED 'J' CHANNEL & NEW 2" PVC SILL
- 2) NEW SIDING: CERTAINTED 'CEDAR IMPRESSIONS' VINYL SHAKE - DOUBLE 7" STRAIGHT EDGE, COLOR - GRANITE GRAY
- 3) NEW 5/4x6 PVC CORNER BOARD w/ CONCEALED 'J' CHANNEL
- 4) NEW PVC PANEL; MATCH EXISTING PROFILE TRIM
- 5) NEW VINYL WINDOWS TO MATCH EXISTING STYLE & SIZE
- 6) NEW FIBERGLASS DOOR w/ FULL LITE, TO MATCH EXISTING SIZE
- 7) EXISTING FIBERGLASS COLUMN SURROUND TO BE REPLACED
- 8) NEW GABLE 'DOGHOUSE' DORMER, OVER FRAME @ EXISTING DORMER
- 9) CUT BACK & RE-FRAME @ EXISTING ROOF TO ACCOMMODATE NEW WINDOWS
- 10) NEW GABLE END VINYL LOUVER
- 11) WRAP EXISTING P.T. POSTS w/ 1x8 PVC TRIM; NEW PVC BASE & OG CAP; NEW 2" PVC CAP (TYP.)
- 12) PROVIDE NEW COMPOSITE PVC SIGNAGE PANEL, CUSTOM DIMENSION TO FIT ARCHED OPENING. PROVIDE STEEL CABLE SUPPORT.
- 13) PROVIDE PVC WATER TABLE CONTINUOUS, ALL SIDES
- 14) PROVIDE NEW DOWNSPOUT AND GUTTER SYSTEM, REPLACE IN-KIND
- 15) PROVIDE NEW COMPOSITE PVC SCREEN PANEL BETWEEN POSTS
- 16) PROVIDE NEW KICHLER MADISON COLLECTION 14.75" LIGHT WALL LIGHT TEXTURED BLACK (COACH LIGHTS)





1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



**GEORGETOWN
RETAIL**
65 CENTRAL ST. GEORGETOWN, MA

prepared for: CPI FUNDS
location: Approver
title
**FIRST FLOOR
DEMOLITION PLAN**

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Mark	Date	Revisions
	22 JANUARY 2019	
	1/8" = 1'-0"	
	2702	

Sheet No.
D100



GEORGETOWN
RETAIL

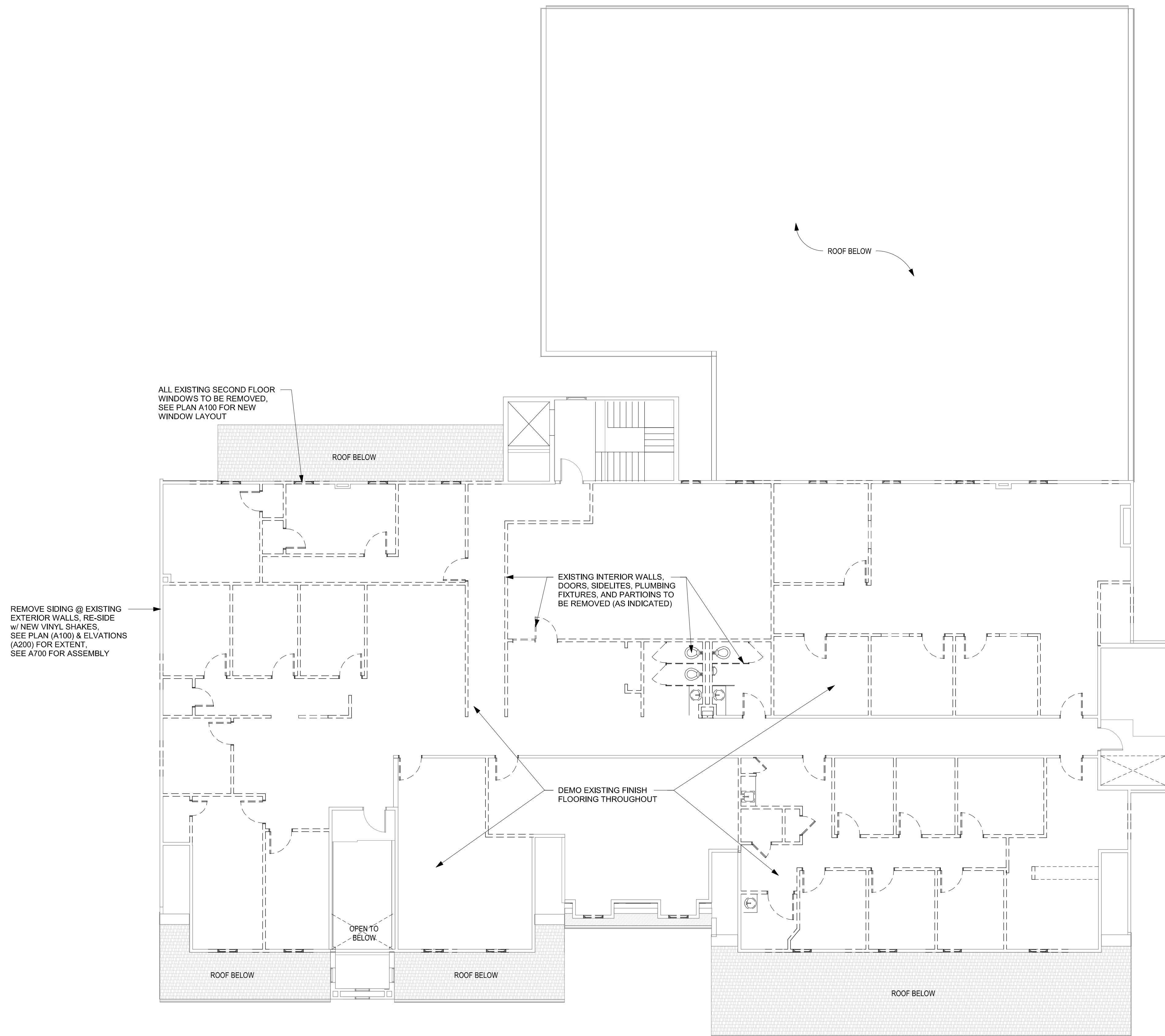
65 CENTRAL ST. GEORGETOWN, MA

SECOND FLOOR
DEMOLITION PLAN

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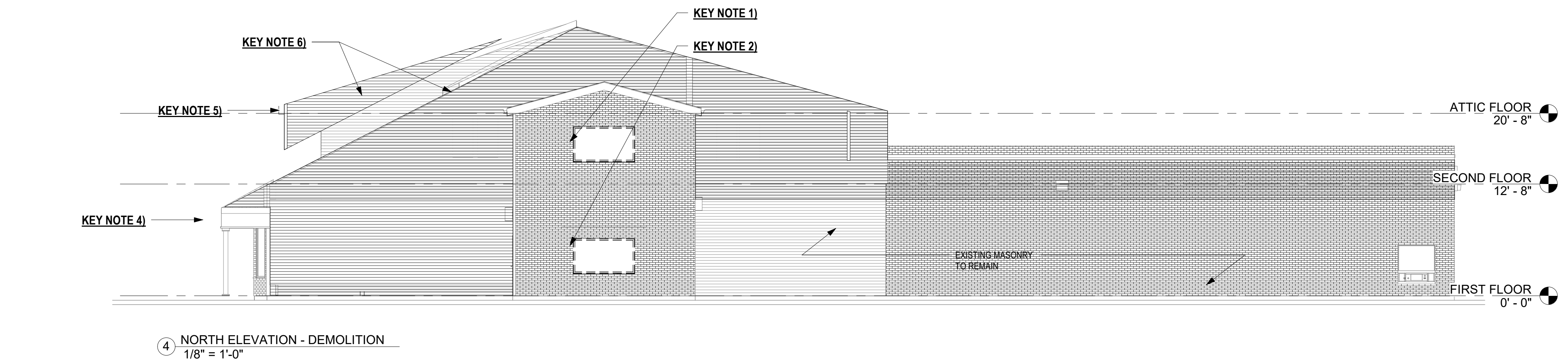
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Revisions	
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Job No.	2702
Sheet No.	

D101



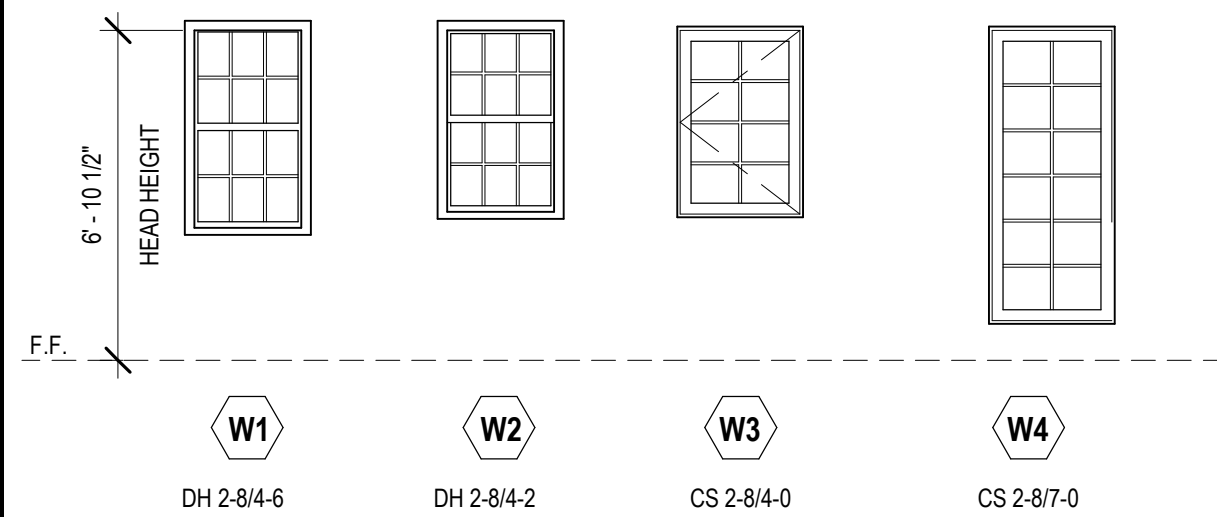
1 SECOND FLOOR DEMOLITION PLAN
1/8" = 1'-0"

1)	ALL EXISTING WINDOWS AT SECOND FLOOR TO BE REMOVED; REPLACE WITH NEW PROPOSED ELEVATIONS, SHEET A200	
2)	EXISTING WINDOW AT FIRST FLOOR TO BE REMOVED; REPLACE WITH NEW VINYL WINDOW TO MATCH, PELLA 350 SERIES, WHITE	
3)	EXISTING DOOR AT FIRST FLOOR TO BE REMOVED;	
4)	EXISTING PLYWOOD FASCIA PANEL AND ASSOCIATED MOULDING @ FIRST ARCADE TO BE REMOVED	F
5)	EXISTING 'BOXED' FASCIA AT SECOND FLOOR TO BE REMOVED	
6)	ALL EXISTING VINYL CLAPBOARD SIDING AND ASSOCIATED TRIM TO BE REMOVED	REMOVED



Door Schedule											
MARK	FROM	TO	WIDTH	HEIGHT	THICKNESS	TYPE	LABEL	HARD WARE	FRAME TYPE	MATERIAL	FRAME
01	CORRIDOR	UNIT 1	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
02	KITCHEN	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
03	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
04	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
05	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
06	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
09	CORRIDOR	UNIT 2	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
10	KITCHEN	CLOSET	2' - 6"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
11	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
12	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
13	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
14	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
15	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	B	MDF	WOOD
16	CORRIDOR	UNIT 3	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
18	LIVING	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
19	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
20	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
21	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
22	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	B	MDF	WOOD
23	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
24	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
25	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
26	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
27	CORRIDOR	UNIT 4	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
28	KITCHEN	CLOSET	1' - 8"	6' - 8"	0' - 1 3/8"	6		1	B	MDF	WOOD
29	KITCHEN	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
30	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
31	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
32	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
33	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
34	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
35	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
36	LIVING	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
38	CORRIDOR	UNIT 5	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
39	KITCHEN	CLOSET	2' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
40	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
41	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	B	MDF	WOOD
42	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
43	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
44	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
45	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
46	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
47	CORRIDOR	UNIT 6	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
48	KITCHEN	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
49	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
50	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
51	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF	WOOD
52	LIVING	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
53	LIVING	STUDY	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
54	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
55	BEDROOM	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
56	BEDROOM	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
57	CORRIDOR	UNIT 7	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSUL.	HM
58	KITCHEN	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF	WOOD
59	KITCHEN	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF	WOOD
60	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
61	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF	WOOD
62	EXTERIOR	RETAIL 101	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	C	ALUM	ALUM
63	EXTERIOR	RETAIL 102	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	C	ALUM	ALUM
64	EXTERIOR	STAIR 1	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	C		ALUM
65	ST-1	SECURITY	2' - 6"	6' - 8"	0' - 1 3/4"	2		7	B	MDF	WOOD
66	EXTERIOR	UNIT 3 RETAIL	3' - 0"	7' - 0"	0' - 1 3/4"	8	45 MIN	8	TBD	TBD	ALUM

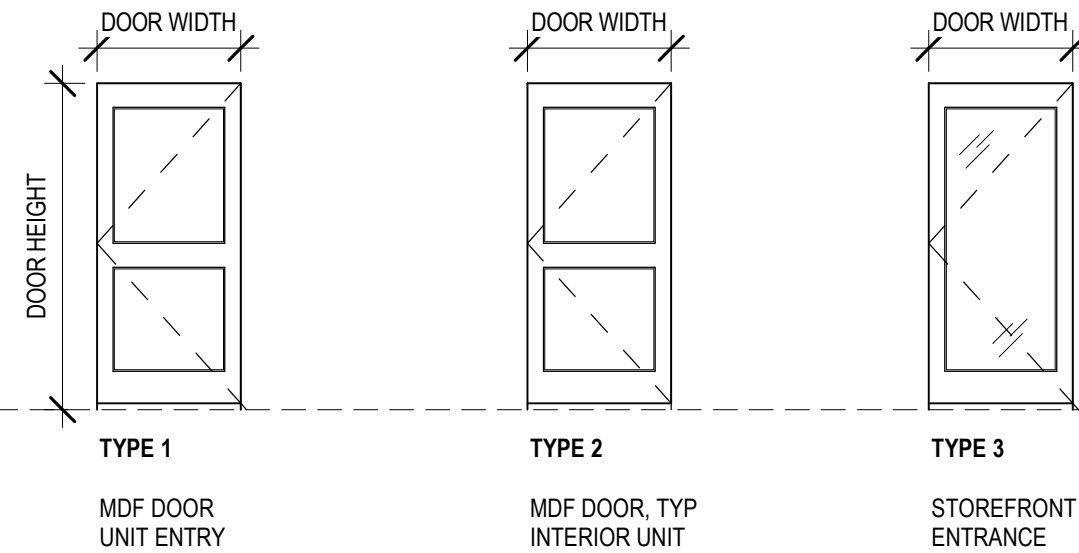
WINDOW TYPES



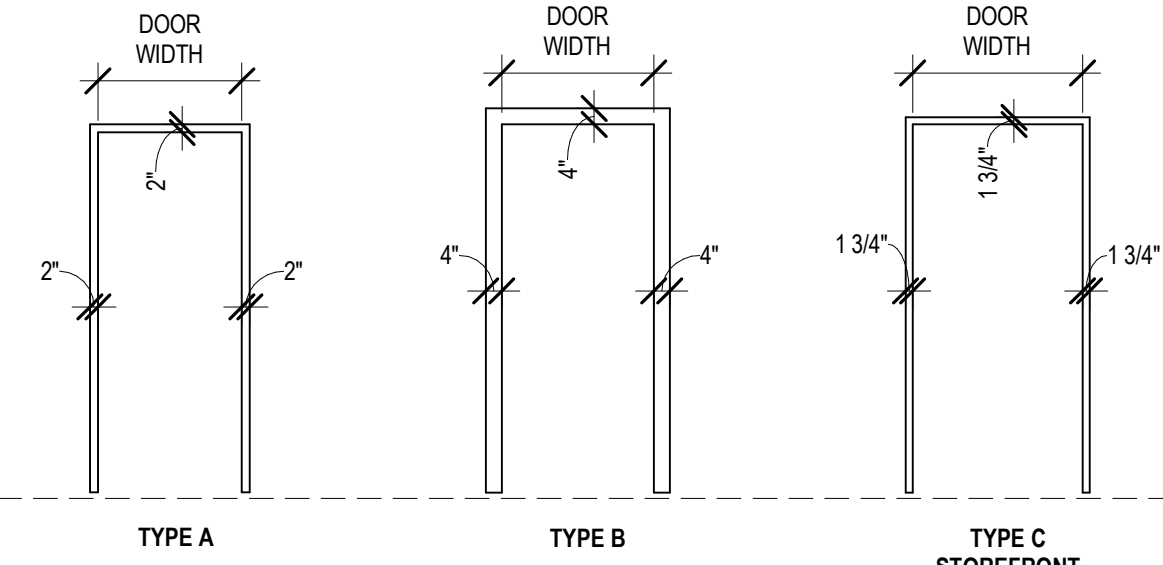
NOTES:
WINDOWS TO BE PELLA 350 SERIES VINYL, WHITE,
GRILLES BETWEEN GLASS, LOW "E" GLAZING, STANDARD FULL SCREEN &
HARDWARE.
CASEMENTS TO HAVE OPTIONAL SIDE PIVOT HARDWARE.
VERIFY ROUGH OPENINGS IN THE FIELD

DOOR TYPES

NOTE: SEE SHEET G002 FOR DOOR SPECIFICATIONS



FRAME TYPES



HARDWARE SCHEDULE

TYPE	QTY	DESCRIPTION	CATALOG NUMBER	MFR	
HWS-1 (CLOSET 1 EA & LAUNDRY)	3 EA	HINGE PASSAGE SET DOOR STOP SILENCERS	F10 HINGES AS SPEC'D. 60/70 AS REQ'D.	SCH IVE	IVE
	1 EA				
	3 EA				
HWS-2 (BEDROOM)	3 EA	HINGE PRIVACY SET DOOR STOP SILENCERS	HINGES AS SPEC'D. F40 60/70 AS REQ'D.	IVE	IVE SCH
	1 EA				
	3 EA				
HWS-3 (BATH)	3 EA	HINGE PRIVACY SET DOOR STOP COAT/HAT HOOK SILENCERS	HINGES AS SPEC'D. F40 60/70 AS REQ'D.	IVE IVE	IVE SCH
	1 EA				
	2 EA				
	3 EA				
HWS-4 (CLOSET DBL)	6 EA	HINGE ROLLER LATCH (TOP MOUNT)	5BB1SC 4.5	IVE	IVE
	2 EA				
	2 EA	DUMMY TRIM DOOR STOP SILENCERS	F170 60/70 AS REQ'D.	IVE	SCH
	3 EA				
HWS-5 (CLOSET BIF)	1 EA	BI-FOLD TRACK KIT WIRE PULL	9890 34	HAG IVE	HAG IVE
	2 EA				
HWS-6 (UNIT ENTRY)	2 EA	SPRING HINGE	3SP1 4.5 X 4.5	IVE IVE IVE	IVE SCH
	1 EA	HINGE	5BB1 SERIES AS SPEC'D.		
	1 EA	ENTRANCE LOCK	CS210		
	1 EA	CORE	23-030	IVE IVE IVE	SCH
	1 EA	DOOR STOP	60/70 AS REQ'D.		
	1 EA	STOP	WS407/FS436 AS SPEC'D.		
	1 SET	SEALS	4885	ZER ZER ZER IVE	ZER ZER ZER IVE
	1 EA	DOOR SWEEP	8198AA		
	1 EA	THRESHOLD	63A MSLA-10		
	1 EA	DOOR VIEWER	U698		
HWS-7 (SECURITY CLO)	2 EA	SPRING HINGE	3SP1 4.5 X 4.5	IVE IVE IVE	IVE SCH SCH
	1 EA	HINGE	5BB1 SERIES AS SPEC'D.		
	1 EA	OFFICE LOCK	CS210		
	1 EA	CORE	23-030	IVE IVE	SCH SCH
	1 EA	DOOR STOP	60/70 AS REQ'D.		
	1 EA	STOP	WS407/FS436 AS SPEC'D.		
HWS-8 (BLDG. ENTRANCE)	2 EA	PULL	60/70 AS REQ'D LS407/BS RTS88	LAG	IVE DORM
	1 EA	DOOR STOP			
	1 EA	FLOOR DOOR STOP	BY OTHERS		
	1 EA	OVERHEAD STEEL CLOSER-STAINL. STL. REQUEST TO EXIT BUTTON BY SECURITY VENDOR			
	1 EA	CARD READER BY SECURITY VENDOR	BY OTHERS		
	1 EA	ELECTROMAGNETIC LOCKS (MOUNTED ON PULL SIDE)	EML 310	DORM	DORM
	1 EA	TOP JAMB BRACKET	DORMA TJ10		

HARDWARE NOTES:

1. ALL MDF DOORS TO BE PAINTED FINISH
2. ALL FRAMES TO BE PAINTED.
3. ALL DOORS TO BE SOLID CORE UNLESS NOTED OTHERWISE.
4. PROVIDE FLOOR OR WALL STOPS AT EACH DOOR.
5. ALL DOOR ASSEMBLIES LOCATED IN OR ALONG COMMON AREA CORRIDOR SHALL MEET THE REQUIREMENTS FOR SMOKE AND DRAFT CONTROL AND TESTED ACCORDING TO SPECIFICATIONS
6. ALL EXISTING ENCLOSURE DOORS SHALL COMPLY WITH THE MAXIMUM INFILTRATION RATE OF 0.20cfm/sq. ft.
NOTE: SEE SPECIFICATION SECTION 087100 FOR HARDWARE SCHEDULE

LEGEND/ SCHEDULE

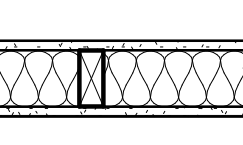
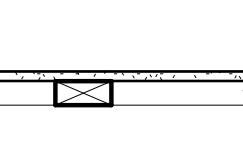
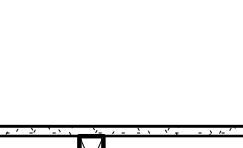
DW-B4-8.0

- DENOTES STUD SIZE (SEE SCHEDULE)
- DENOTES HEIGHT OF WALL (SEE SCHEDULE)
- DENOTES WALL/ FLOOR CONSTRUCTION TYPE (SEE SCHEDULE)
- DENOTES WALL/ FLOOR DESIGNATION (SEE SCHEDULE)

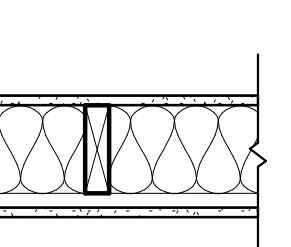
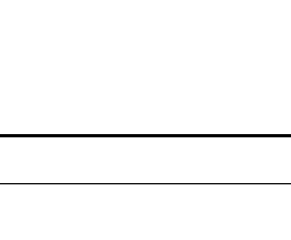
WALL / FLOOR TYPE DESIGNATION	
EW	EXTERIOR WALL
IW	INTERIOR WALL
DW	DEMISING WALL
FC	FLOOR/ CEILING
RC	ROOF/ CEILING

STUD SIZE SCHEDULE	
1	7/8" MTL CHANNEL
2	2 1/2" MTL C-H STUDS
3	
4	
5	2x4 WOOD STUDS
6	2x6 WOOD STUDS
8	
10	

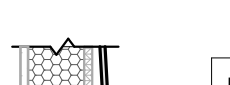
IW- INTERIOR WALL ASSEMBLIES

<p>IW-A</p> 	<p>TYPICAL INTERIOR WALL, NON-RATED</p> <ul style="list-style-type: none"> - 5/8" GWB - (SEE FINISH SCHEDULE FOR FINISH) - 2x4 WOOD STUDS @ 16" O.C. - BATT INSULATION - 5/8" GWB - (SEE FINISH SCHEDULE FOR FINISH)
<p>IW-B</p> 	<p>TYPICAL INTERIOR FURRED WALL</p> <ul style="list-style-type: none"> - 5/8" GWB - (SEE FINISH SCHEDULE FOR FINISH) - 2x4 WOOD STUDS @ 16" O.C., ON FLAT
<p>IW-C</p> 	<p>TYPICAL INTERIOR WALL, NON-RATED</p> <ul style="list-style-type: none"> - 5/8" GWB - (SEE FINISH SCHEDULE FOR FINISH) - 2x4 WOOD STUDS @ 16" O.C. - BATT INSULATION - 5/8" GWB - (SEE FINISH SCHEDULE FOR FINISH) <p>NOTE: HALF HEIGHT WALL IN STAIR TO 3'-6" WITH WOOD CAP</p>

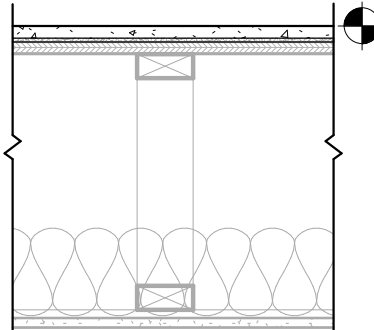
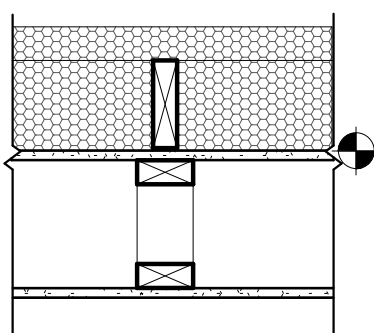
DW- DEMISING WALL ASSEMBLIES

<p>DW-A</p> 	<p>NEW UNIT DEMISING WALL</p> <ul style="list-style-type: none"> - 5/8" TYPE 'X' FIRE RATED GWB - 2x4 WOOD STUDS @ 16" O/C (SEE STRUCTURAL) - 5 1/2" BATT INSULATION - 7/8" RESILIENT METAL CHANNELS - 5/8" TYPE 'X' FIRE RATED GWB <p>* 5/8" MOISTURE RESISTANT GWB, EXPOSED, AT WET LOCATIONS</p>	<p>RATING: 1 HR</p> <p>TEST # UL U-305</p> <p>STC: 57</p>
<p>DW-B</p> 	<p>EXISTING UNIT DEMISING WALL-MODIFIED</p> <ul style="list-style-type: none"> - EXISTING 5/8" TYPE 'X' FIRE RATED GWB - EXISTING 2x4 WOOD STUDS @ 16" O/C - NEW 5 1/2" BATT INSULATION AS REQ'D. - NEW 7/8" RESILIENT METAL CHANNELS - NEW 5/8" TYPE 'X' FIRE RATED GWB (FROM UNIT SIDE) <p>* 5/8" MOISTURE RESISTANT GWB, EXPOSED, AT WET LOCATIONS</p>	<p>RATING: 1 HR</p> <p>TEST # UL U-305</p> <p>STC: 57</p>

EW- EXTERIOR WALL ASSEMBLIES

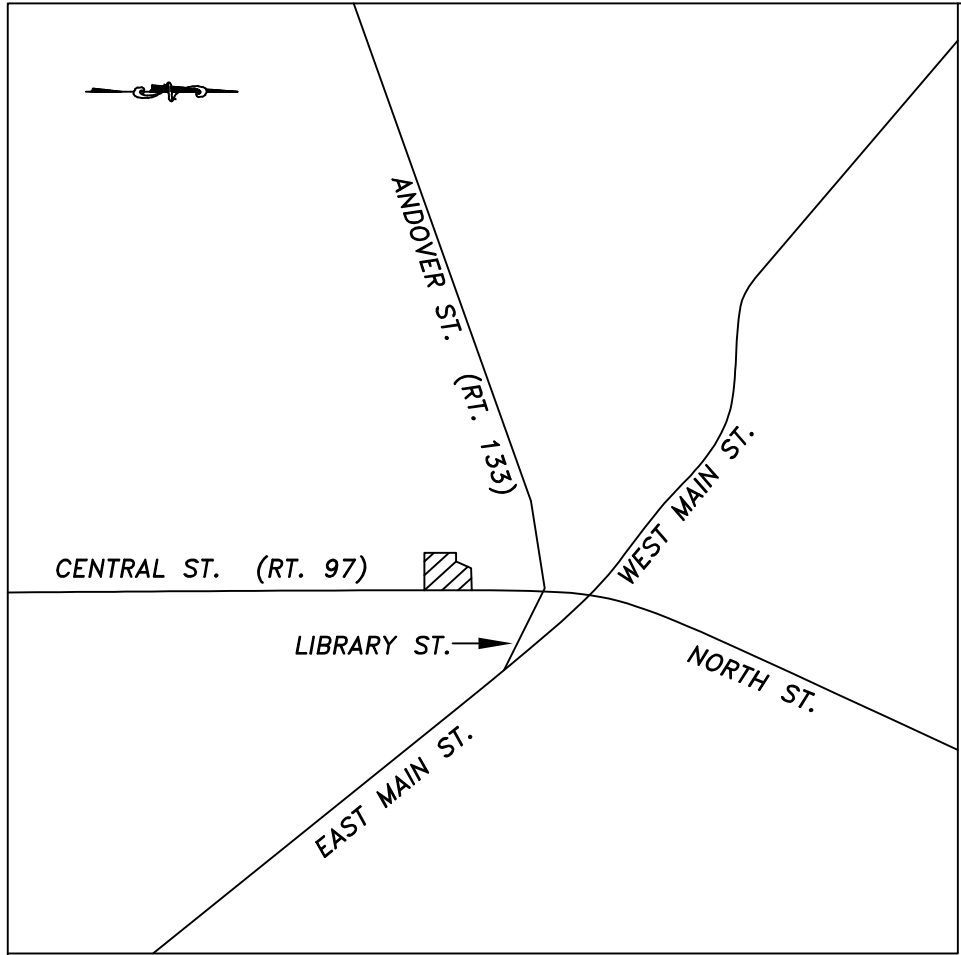
EW-A		EXISTING EXT. WALL w/ NEW SIDING			
		<ul style="list-style-type: none"> - NEW: VINYL SHAKE SIDING - EXISTING: EXTERIOR SHEATHING - EXISTING: 2x6 STUDS - EXISTING: INSULATION 			
		<p style="text-align: center;">NOTE: WHERE WALL CAVITY IS EXPOSED DURING CONSTRUCTION, INFILL WITH CLOSED CELL INSUL.</p>			
		<ul style="list-style-type: none"> - EXISTING: INTERIOR GWB FINISH, REPLACE AS REQ'D. 			
		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 33%; padding: 5px;">RATING:</td> <td style="width: 33%; padding: 5px;">TEST #</td> <td style="width: 34%;"></td> </tr> </table>	RATING:	TEST #	
RATING:	TEST #				

FC- FLOOR ASSEMBLIES

FC-A		<ul style="list-style-type: none">- NEW: 1" GYPCRETE 2ND FLOOR- NEW: ACOUSTICAL SOUND MAT AND TOPPING (MAXXON CORP. ACOUSTI-MAT II OR EQUAL)- EXISTING: SUBFLOOR - REPLACE WHERE NECESSARY- EXISTING: INSULATION- EXISTING: CEILING @ GROUND FLOOR <p>NOTE: MAINTAIN FIRE RATING. SEAL ALL PENETRATIONS.</p>	<table><tr><td>RATING: 1 HOUR</td><td>TEST # UL-L550</td><td>STC: 52</td></tr></table>	RATING: 1 HOUR	TEST # UL-L550	STC: 52
RATING: 1 HOUR	TEST # UL-L550	STC: 52				
RC-A		<ul style="list-style-type: none">- NEW: CLOSED CELL INSULATION OR EQUAL, R-49 MINIMUM- EXISTING: TRUSS, BOTTOM CHORD- NEW: 5/8" TYPE 'X' GWB- CONCEALED SPACE ABOVE FINISH CEILING- NEW: GWB CEILING, HEIGHT AS INDICATED ON REFLECTED CEILING PLAN <p>NOTE: MAINTAIN FIRE RATING. SEAL ALL PENETRATIONS.</p>	<table><tr><td>RATING: 1 HOUR</td><td>TEST # UL-L550</td><td>STC:</td></tr></table>	RATING: 1 HOUR	TEST # UL-L550	STC:
RATING: 1 HOUR	TEST # UL-L550	STC:				

MATERIAL SCHEDULE

KEY	MANUFACTURER	NAME	NUMBER	COLOR	NOTES
FLOORS					
CARPET 1	MANNINGTON COMMERCIAL	PRECISION	34584	ACUTE	QUADRANT COLLECTION - SEE ALLOWANCE
TILE 1	DALTILE	LIMESTONE COLLECTION	L191	CHENILLE WHITE	FLOOR AND WALLS TO 4'-6"
WOOD 1	SOURCED OAK FLOOR	PER FLOORING MANUFACTURER		STAIN TBD	2 COATS POLYURETHANE
VINYL 1	ARMSTRONG	OVERLOOK	25315	SANDSTONE	12" x 12" VINYL TILE
WALL					
PAINT 1	BENJAMIN MOORE	WALL			
PAINT 2	BENJAMIN MOORE	ACCENT			
PAINT 3	BENJAMIN MOORE	BATH			
PAINT 4	BENJAMIN MOORE	CORRIDOR			
TILE 1	DALTILE	PRECISION	34584	ACUTE 4" BASE	QUADRANT COLLECTION
WALL COV 1	TBD	TBD			CORRIDOR ABOVE WAINSCOAT
CEILING					
GWB 1	USG OR EQUAL	MOISTURE RESISTANT			BATHROOM, LAUNDRY
MILLWORK					
WOOD 1	PAINTED WOOD	PER MILLWORK MANUFACTURER		TBD	
WOOD 2	STAINED WOOD	PER MILLWORK MANUFACTURER		TBD	
STONE 1	SOURCED GRANITE	TBD		TBD	LOCALLY SOURCE GRANITE COUNTER
BASE					
VINYL 1	ROPPE	4" VINYL COVE BASE	-	-	COORDINATES WITH CARPET LOCATIONS
WOOD 2	BROSCO	5 1/4" WOOD BASE	B400		



LOCUS
NOT TO SCALE

PROPOSED SITE IMPROVEMENT AND
SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN
IN
GEORGETOWN, MA

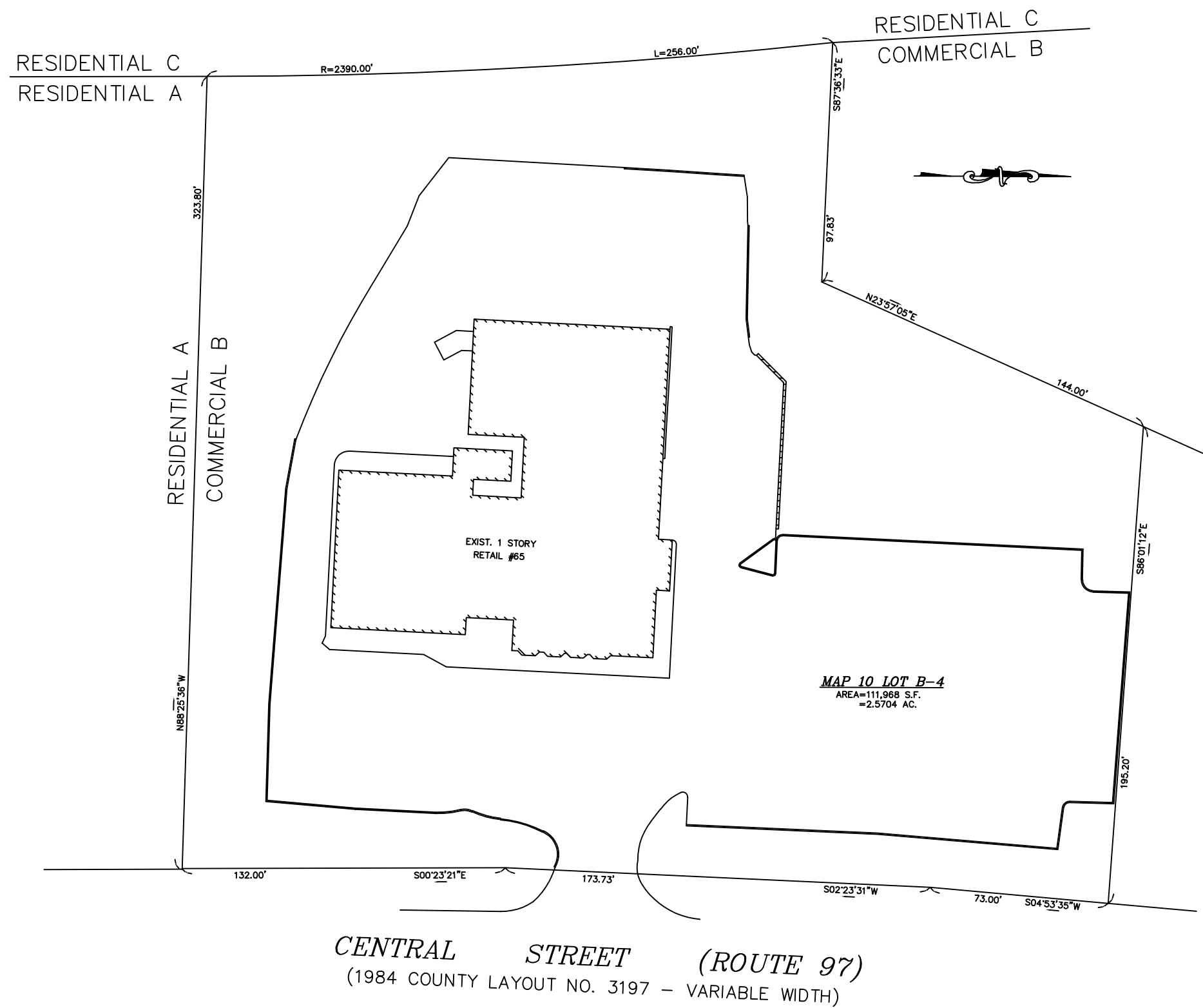
65 CENTRAL ST
PREPARED FOR

JD LAGRASSE & ASSOCIATES INC.
ONE ELM SQUARE
ANDOVER, MA 01810

MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
PHONE: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

LEGEND

- IP IRON PIN
- SB DH STONE BOUND DRILLHOLE
- ▣ CB CATCH BASIN
- ⊙ DMH DRAIN MANHOLE
- ⊙ SMH SEWER MANHOLE
- ⊙ EMH ELECTRICAL MANHOLE
- WG WATER GATE
- SS STREET SIGN
- UP UTILITY POLE
- ⦿ HYDRANT
- ⦿ TREE
- EDGE OF WETLAND
- TREELINE
- D DRAIN PIPELINE
- S SEWER PIPELINE
- W WATER PIPELINE
- T TELEPHONE CONDUIT
- □ WOOD PICKET FENCE
- X CHAINLINK FENCE
- 164 ELEVATION CONTOUR
- 164X12 SPOT ELEVATION
- CEM. CONC. CEMENT CONCRETE
- BIT. CONC. BITUMINOUS CONCRETE
- W.F.D. WOOD FRAME DWELLING
- N/F NOW OR FORMERLY
- FND FOUND
- RCP REINFORCED CONCRETE PIPE



SITE PLAN

1"=50'

SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM
- 4 CONSTRUCTION DETAILS

GENERAL NOTES

- SEE TOWN OF GEORGETOWN ASSESSORS MAP 10B LOT 3 AND 4 FOR SITE.
- SUBJECT PROPERTY RECORDED IN E.S.D.R.D. BOOK 35,160 PAGE 493.
- CURRENT ZONING IS COMMERCIAL B, CB
- OWNER OF RECORD IS: ONLY CVGTNMA LLC
195 NORTH STREET, SUITE 100
TETERBORO, NJ 07608
- PARKING REQUIREMENTS:
 - *RETAIL 9,242 S.F X 1 SP/250 S.F. = 37 SPACES
 - *BUSINESS 3,132 S.F X 1 SP/300 S.F. = 11 SPACES
 - *RESIDENTIAL 7 DWELLING UNITS X 2 SP/UNIT = 14 SPACES
 - TOTAL REQUIRED: 62 SPACES
 - TOTAL SPACES PROVIDED: 123 SPACES
 - HANDICAP REQUIRED: 5 SPACES
 - HANDICAP PROVIDED: 6 SPACES

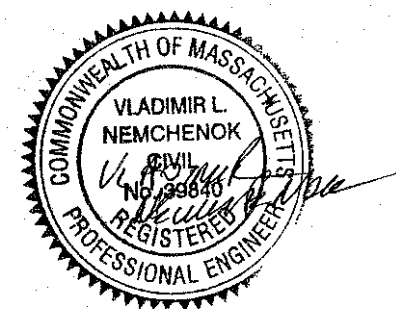
SUMMARY OF DIMENSIONAL REQUIREMENTS CB ZONE			
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	40,000 S.F.	111,968 S.F	111,968 S.F
MIN. LOT DEPTH	150 FT.	195.2 FT.	195.2 FT.
MIN. LOT FRONTAGE	160 FT.	305.73 FT.	305.73 FT.
MAXIMUM LOT COVERAGE	65%	58.4%	58.4%
MAXIMUM BLDG. COVERAGE	30%	12.3%	12.3%
LANDSCAPED OPEN SPACE	35%	41.6%	41.6%
MAXIMUM BLDG. HEIGHT	40 FT.	31.2 FT.	31.2 FT.
MIN. SETBACKS	FRONT	20 FT.	83 FT.
	SIDE	100 FT.	57.5 FT.
	REAR	100 FT.	101 FT.

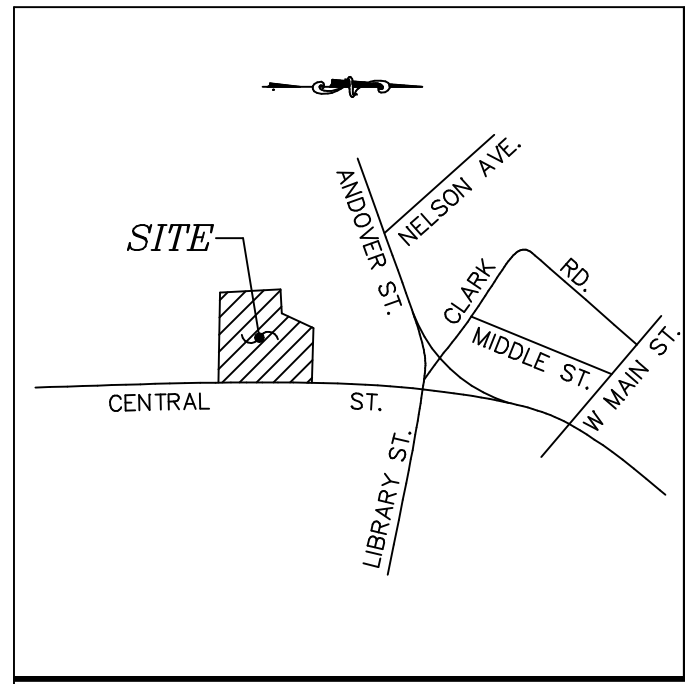
LIST OF WAIVERS

- * DRAINAGE CALCULATIONS AND ANALYSIS
THERE IS NO INCREASE OR CHANGE IN BUILDING OR IMPERVIOUS LOT COVERAGE, NO INCREASE IN RUNOFF AND NO CHANGE TO DRAINAGE PATTERNS.
- * SIGHT DISTANCE
THERE IS A PRE-EXISTING DRIVEWAY ENTRANCE WITH NO PROPOSED CHANGE.

GEORGETOWN PLANNING BOARD

DATE





LOCUS
N.T.S.

LEGEND

N/F	NOW OR FORMERLY
CC	CEMENT CONCRETE
BIT. CONC.	BITUMINOUS CONCRETE
RET. WALL	RETAINING WALL
APPROX.	APPROXIMATE
S.F.	SQUARE FEET
AC.	ACRES
HW	HEADWALL
CONC.	CONCRETE
RO	ROOF OVERHANG
T	TRANSFORMER
	APPROXIMATE LOCATION OF STREAM/WETLAND

N/F
AMY SULLIVAN BERKLEY
DUNCAN BERKLEY



CENTRAL STREET (ROUTE 97)
(1984 COUNTY LAYOUT NO. 3197 - VARIABLE WIDTH)

ZONING CHARACTERISTICS:			
EXISTING 2-STORY WOOD FRAME COMMERCIAL OFFICE BUILDING AT 65 CENTRAL STREET, GEORGETOWN, MA LOCATED IN THE "CB" DISTRICT			
LOT	SECTION	REQUIRED	PROVIDED
MIN. LOT AREA	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	40,000 S.F.	111,968 S.F.
MAX. BUILD COVERAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	30%	12.27%
LOT DEPTH	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	150'	379.35'
MAX. LOT COVERAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	65%	59.27%
FRONT YARD SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	20'	88.4'
SIDE YARD SETBACK	ZONING SECTION 165 TABLE 2, SECTION 4.1.2	10'	57'±/65'±
REAR YARD SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	20'	110'±
BUFFER ZONE SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE, NOTE #6, ZONING SECTION 165-7 DEFINITIONS	100'	35.20'/37.89'
MAX. BUILDING HEIGHT	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	40'	31.75'
MAX. NO. STORIES	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	2.5 STORIES	2 STORIES
STREET FRONTAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	160'	378.73'
LANDSCAPE OPEN SPACE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	35%	40.72%
CONTIGUOUS BUILDABLE AREA	ZONING SECTION 165-7 DEFINITIONS	70,00 S.F.	99,200 S.F.
PARKING CHARACTERISTICS			
LOT	SECTION	REQUIRED	PROVIDED
PARKING	SECTION 165-61	1 SP. PER 250 S.F. OF TOTAL FLOOR AREA (12,360 S.F.) =50 SP. 2 SP. PER DWELLING UNIT (7 UNITS) =14 SP. 64 SP. TOTAL	131 SP.
PARKING SPACES RETAIL:			
RESIDENTIAL:			

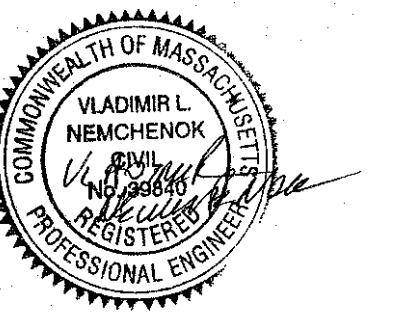
NOTES

- FIELD DATA LOCATION FROM G.P.S. SURVEY. DECEMBER 2017
- PLAN AND DEED SOURCES USED FOR SUBJECT PREMISES
 - DEED 7511/562 FROM BASIL S. KINSON, INC. TO JACK C. HAYMAN & ESTELLE HAYMAN
 - PLAN 1815/600 DATED JAN. 1906
 - DEED 2345/372 FROM GEORGETOWN SAVINGS BANK TO JOHN F. HUGHES
 - DEED 3152/58 FROM JOHN HYCZUK TO GEORGETOWN SAVINGS BANK
 - PLAN BOOK 188 PLAN 58 OF 1984 COUNTY LAYOUT RECORD NO. 3197 OF CENTRAL STREET
 - RAILROAD LAYOUT PLAN NO. 45A & 45B
 - PLAN BOOK 391 PLAN 53 BY MISTRY ASSOCIATES, INC. WAS FOUND TO BE UNRELIABLE AND NOT HELD. SEE NOTE 1 ON MISTRY PLAN "NOT PREPARED FROM AN INSTRUMENT PERIMETER SURVEY".

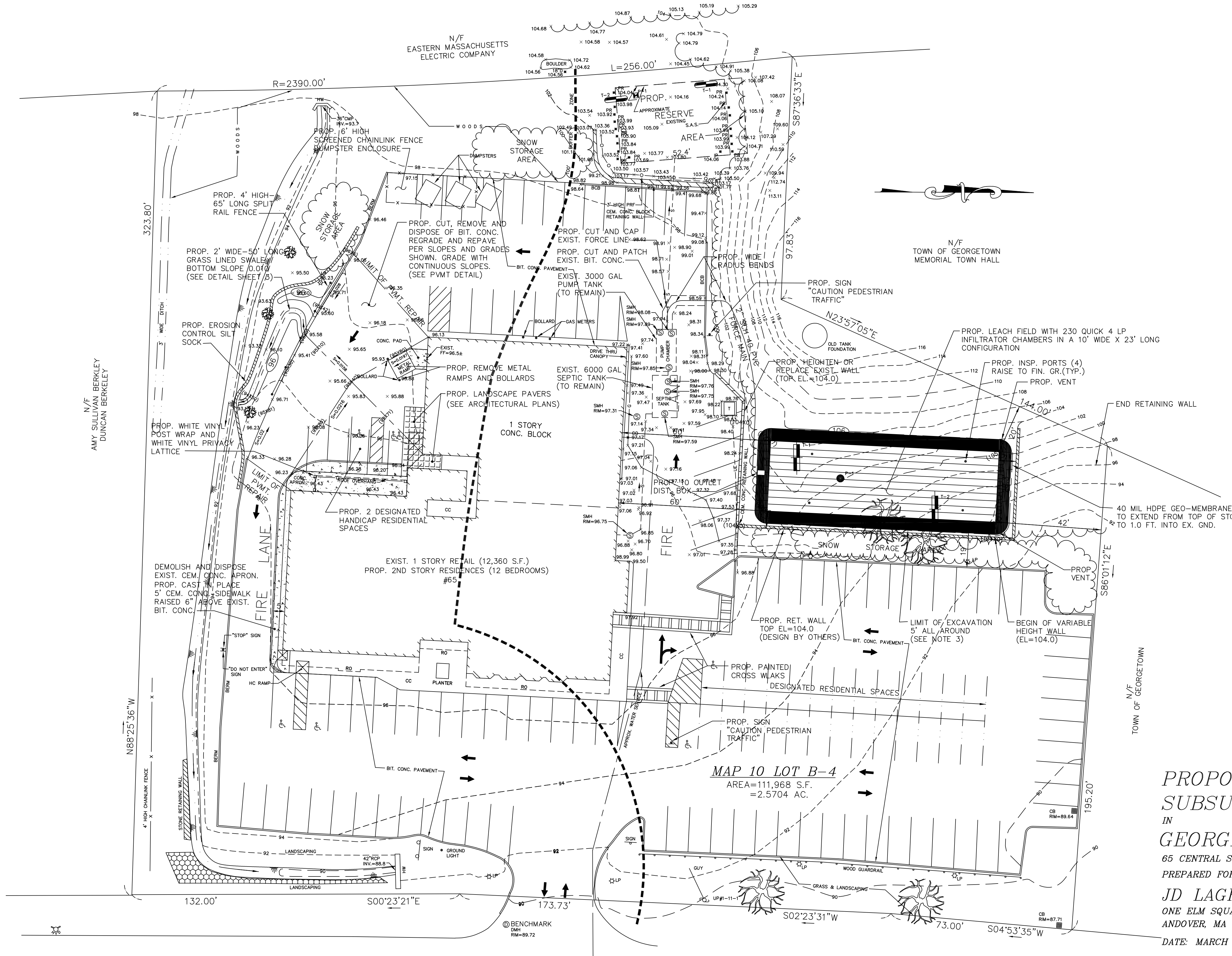
PLAN OF LAND
IN
GEORGETOWN, MA
PREPARED FOR
LAGRASSE ASSOCIATES ARCHITECTS
ONE ELM SQUARE
ANDOVER, MA 01810

DATE: DECEMBER 29, 2017 REV.: JANUARY 7, 2019

SCALE: 1"=20'



MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
PHONE: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM



CENTRAL STREET (ROUTE 97)
(1984 COUNTY LAYOUT NO. 3197 - VARIABLE WIDTH)

PROPOSED SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN IN GEORGETOWN, MA

65 CENTRAL STREET

PREPARED FOR

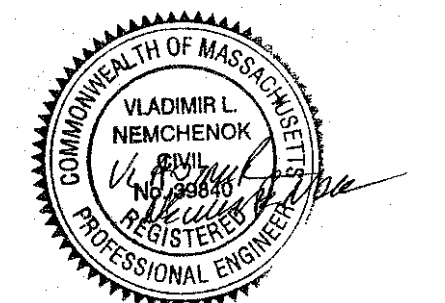
JD LAGRASSE & ASSOCIATES INC.

ONE ELM SQUARE
ANDOVER, MA 01810

DATE: MARCH 29, 2019

SCALE: 1"=20'

MERRIMACK ENGINEERING SERVICES
66 PARK STREET
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PROPOSED SITE PLAN
SHEET 3 OF 4

NOTES

- 1.) ALL FILL BENEATH THE SOIL ABSORPTION SYSTEM SHALL BE IN CONFORMANCE WITH 310 CMR 15.255 (3) AND SHALL BE WASHED SAND OR ASTM C33 CONCRETE SAND.
- 2.) THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE GRINDER.
- 3.) REMOVE ALL TOPSOIL, ROOTS AND SUBSOIL AND REPLACE WITH SPECIFIED FILL WITHIN 5 FEET OF SYSTEM. FILL SHALL BE IN CONFORMANCE WITH CMR 15.255 (3).
- 4.) COVER MATERIAL OVER THE SYSTEM SHALL BE FREE OF CLAY, STONES, MASONRY, STUMPS, OR WASTE CONSTRUCTION MATERIAL. THE TOP 3" SHALL BE LOAMED AND SURFACE SEED. MACHINERY WHICH MAY CRUSH OR DISTURB THE ALIGNMENT OF THE PIPES IN THE DISPOSAL AREA SHALL NOT BE ALLOWED.
- 5.) FOUNDATION DRAINS ARE NOT TO BE INSTALLED WITHIN 10 FT. OF THE SEPTIC TANK NOR WITHIN 20 FT. OF THE SOIL ABSORPTION SYSTEM.
- 6.) ALL PIPING SHALL BE LAID STRAIGHT ON CONTINUOUS GRADE AND SHALL HAVE WATERTIGHT JOINTS
- 7.) PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING PLANS AND RECORDS. SEE E.S.D.R.D. BK. 35, 160 PG. 493.
- 8.) THE LOCATION OF EXISTING UNDERGROUND UTILITIES WAS TAKEN FROM EXISTING PLANS AND RECORDS OR FROM FIELD OBSERVATIONS AND MARKINGS AND ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES SO THAT REMEDIAL ACTION CAN BE TAKEN.
- 9.) THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER 48 HRS. IN ADVANCE OF BED EXCAVATION AND COMPLETION SO THAT REQUIRED INSPECTIONS CAN OCCUR.
- 10.) THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE AS-BUILT INSPECTIONS AND PLAN. THIS SERVICE SHALL BE INCLUDED AS PART OF THE CONSTRUCTION CONTRACT.
- 11.) FOR THE REPAIR (OR UPGRADE) OF SYSTEMS, THE EXISTING S.A.S. AND SURROUNDING UNDERLYING SPOILED SOIL SHALL BE EXCAVATED AND REMOVED WHEREVER IT IS WITHIN 5 FT. OF THE PROPOSED SYSTEM.
- 12.) NO PRIVATE WELLS EXIST. WITHIN 100 FT. NOR ANY PUBLIC WELLS OR DRINKING WATER SUPPLIES WITHIN 400 FT. OF THE SYSTEM.
- 13.) NO WETLANDS EXIST WITHIN 100 FT. OF THE PROPOSED SYSTEM.
- 14.) THIS SYSTEM DESIGN, ALL MATERIALS AND COMPONENTS AND ALL INSTALLATION PROCEDURES SHALL BE AND ARE INTENDED TO BE IN FULL CONFORMANCE WITH TITLE 5, MINIMUM REQUIREMENTS FOR THE SUBSURFACE DISPOSAL OF SANITARY SEWAGE, 310 CMR 15.001 THROUGH 15.505, UNLESS OTHERWISE NOTED.
- 15.) THE EXISTING SEPTIC TANK AND PUMP TANK SHALL BE INSPECTED FOR LEAKAGE AND REPLACED IF NECESSARY.

DESIGN CALCULATIONS

DESIGN FLOW (STATE)

12 BDRMS X 110 GPD/BDRM=	1,320 GPD
12,360 S.F. (RETAIL) X 50 GPD/1,000 S.F.=	618 GPD
TOTAL (STATUTORY STATE) FLOW	1,938 GPD

DESIGN FLOW (LOCAL)

12 BDRMS X 165 GPD/BDRM=	1,980 GPD
12,360 S.F. (RETAIL) X 50 GPD/1,000 S.F.=	618 GPD
TOTAL DESIGN FLOW	2,598 GPD
DESIGN PERCOLATION RATE:	6 M.P.I.
SOIL CLASS:	II
LTAR	0.60
LEACH FIELD REQUIRED= 2,598 GAL. x 1/0.6 GPD/S.F. =	4,330 S.F.
USE QUICK 4 STD. LP INFILTRATOR CHAMBER 4.73 S.F./L.F.	
4,330 S.F./ 4.73 S.F./L.F.= 916 L.F. (229 CHAMBERS)	
USE 230 INFILTRATOR CHAMBERS IN A 10 X 23 CONFIGURATION=	920 L.F.
EFFECTIVE AREA PROVIDED: 4.73 S.F./L.F. x 920 L.F.=	4,352 S.F.
SEPTIC TANK REQUIRED: 200% X 2,598 GAL=	5,196 GAL
SEPTIC TANK PROVIDED: (EXIST.)=	6,000 GAL

RESERVE AREA CALCULATIONS

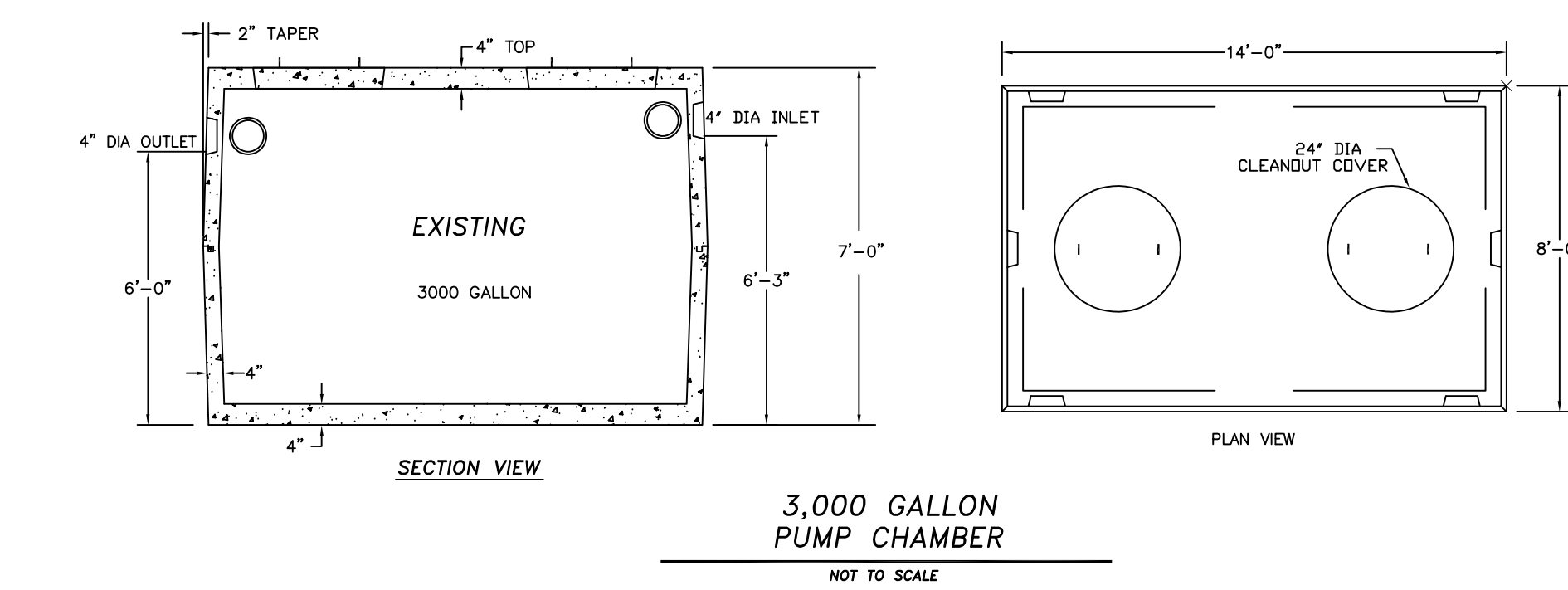
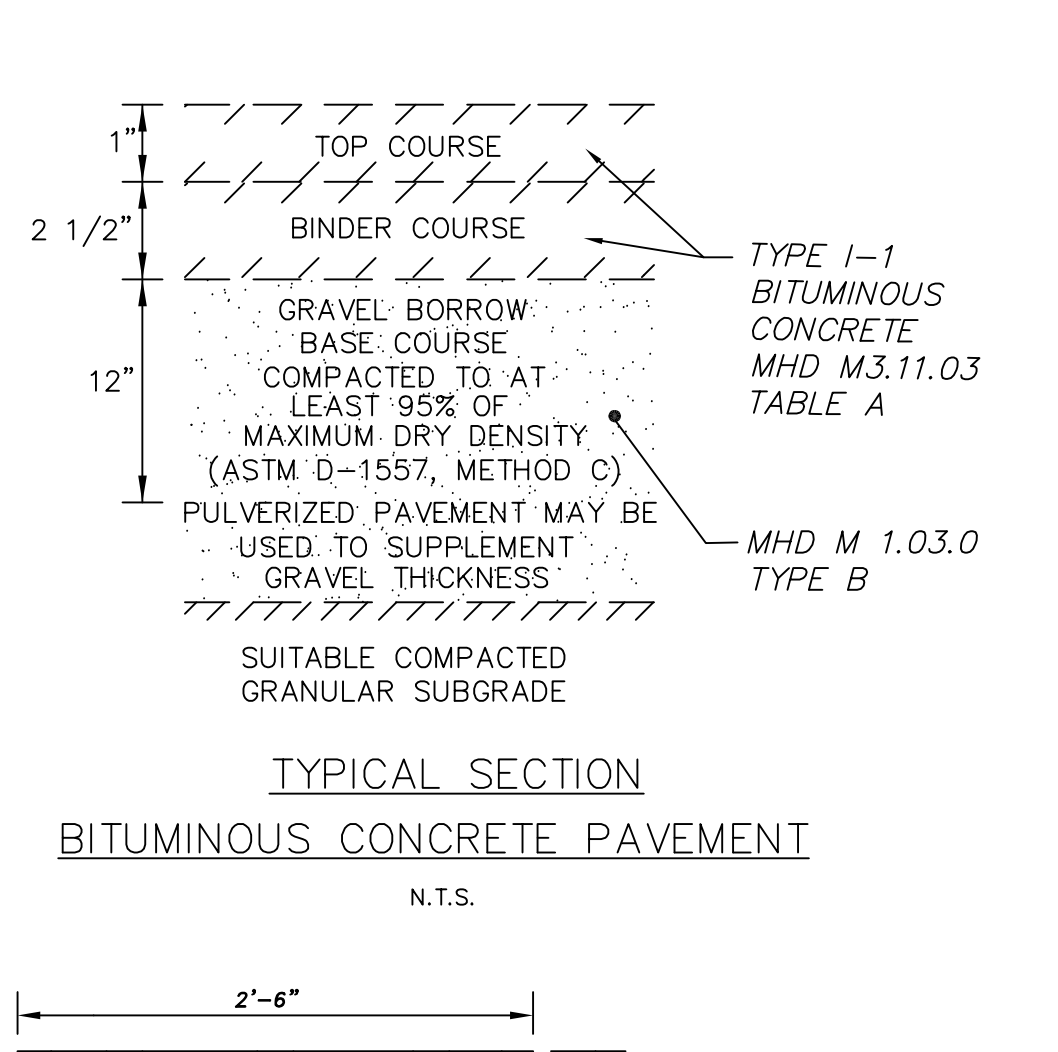
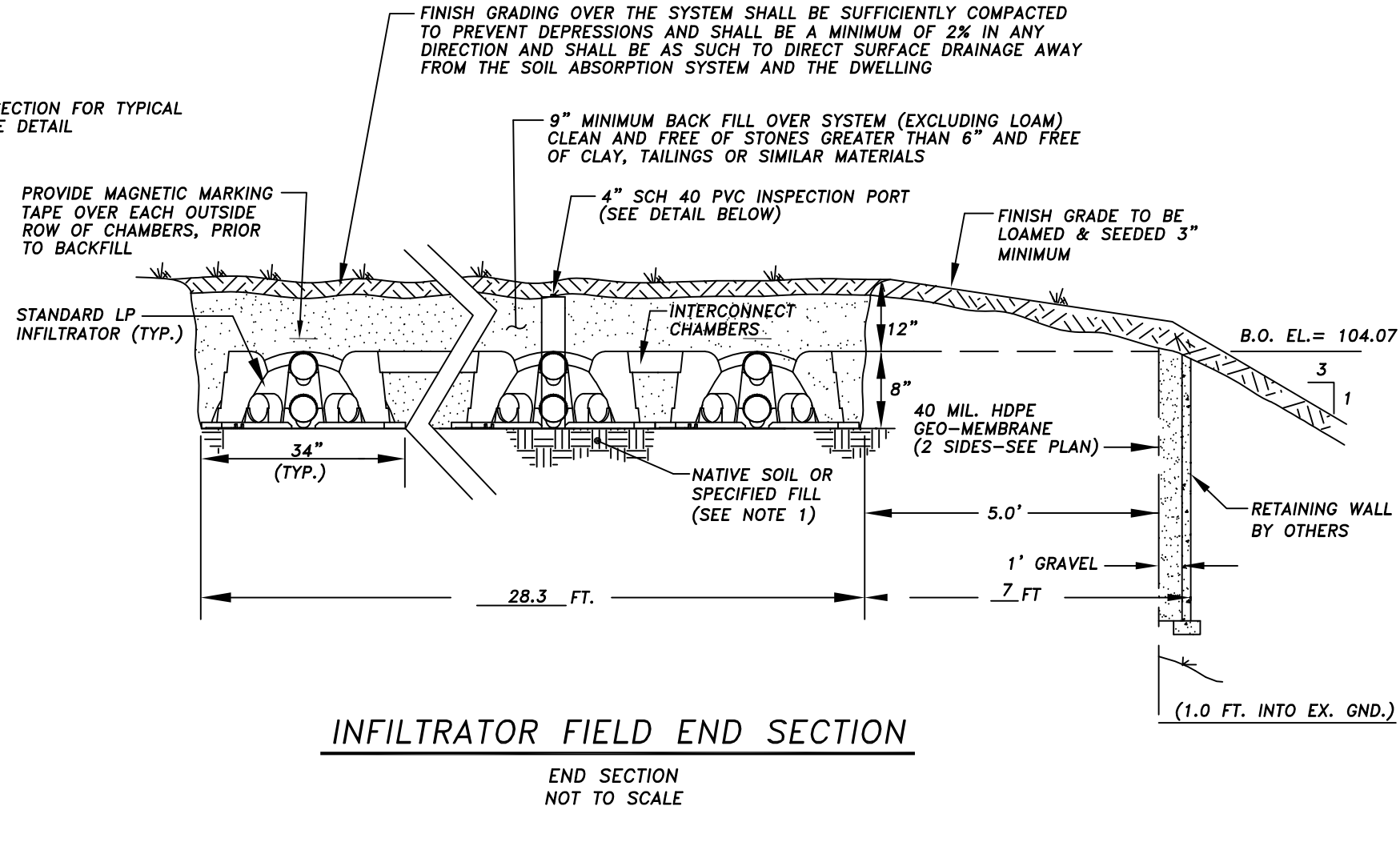
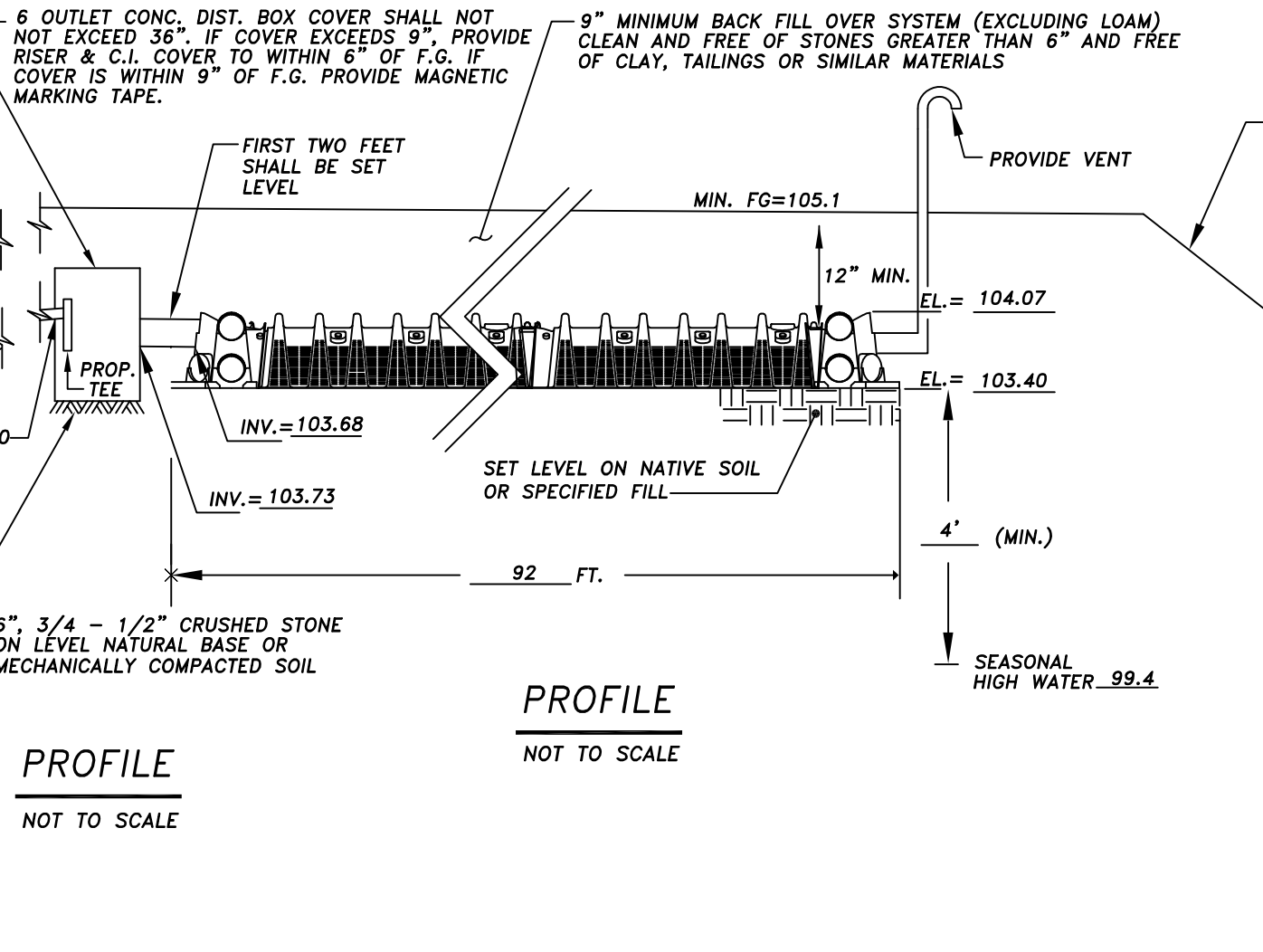
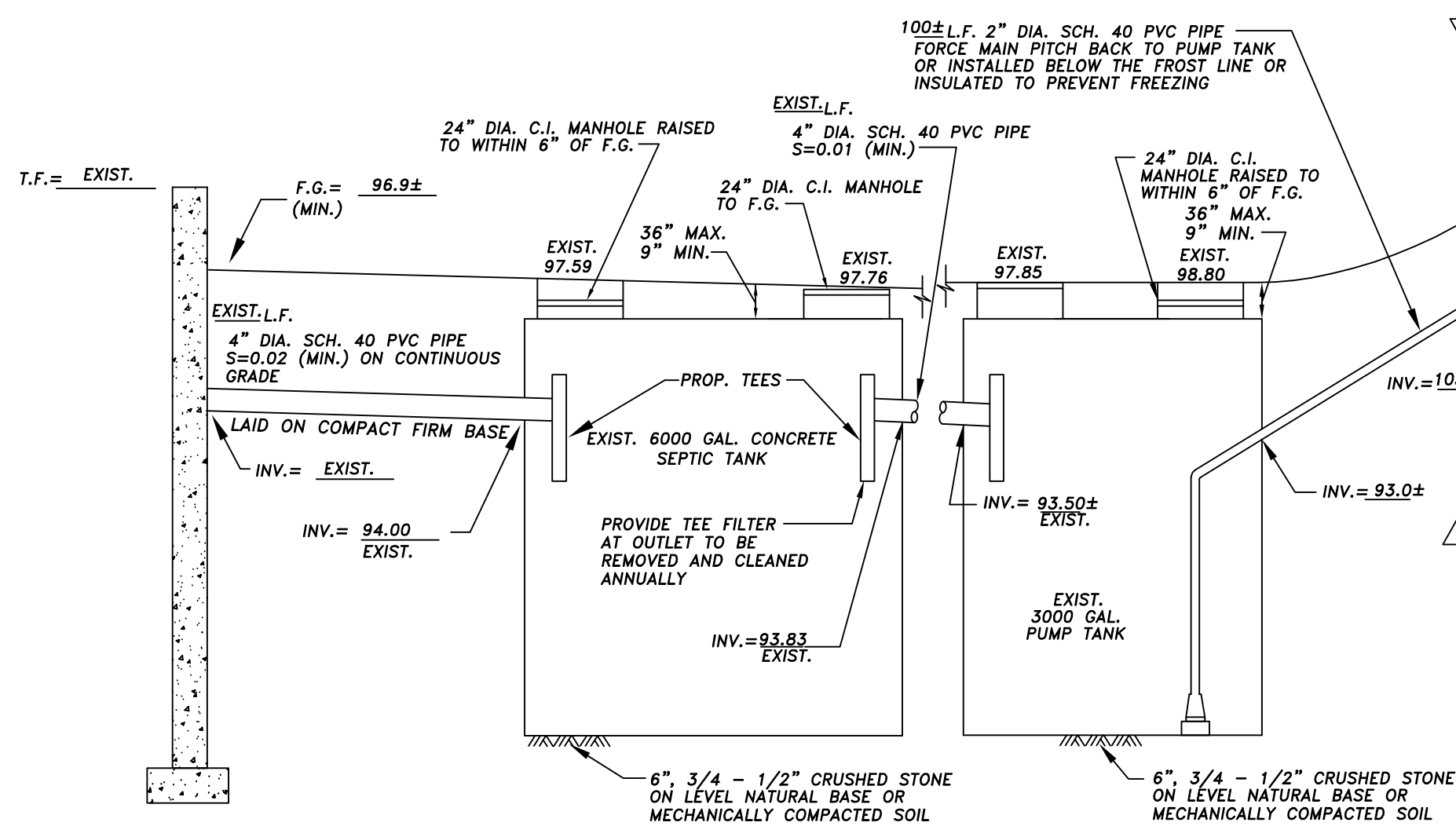
(USE EXISTING S.A.S. AND AREA, PRESSURE DOSED-6 M.P.I.)

1,938 GPD/0.60 GPD/S.F. = 3,230 S.F.
WITH 25% REDUCTION = 3,230 (0.75) = 2,423 S.F.

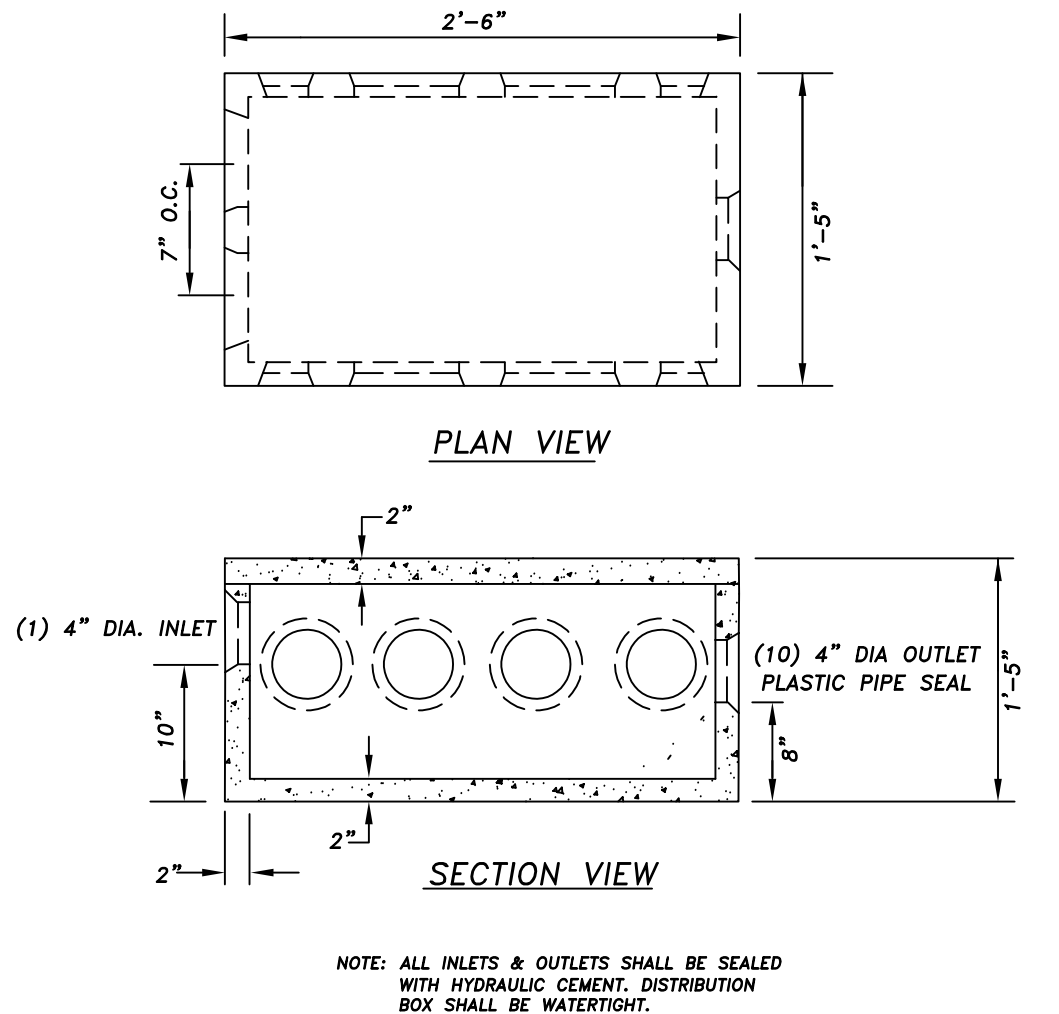
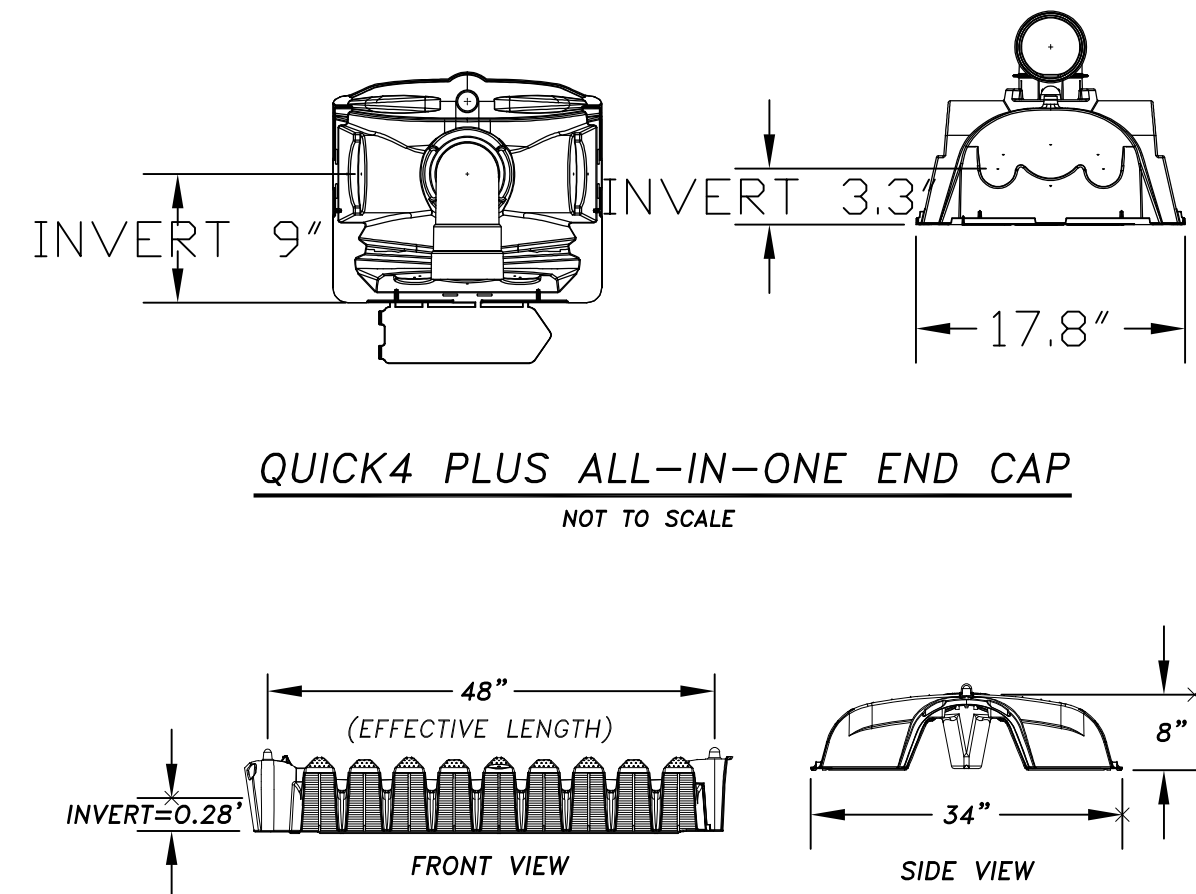
USING CULTEC CONTRACTOR 100 CHAMBERS IN A BED CONFIGURATION
2,423 S.F./5.0 S.F./FT. = 485 FT. OF CHAMBERS

USE 10 ROWS X 7 CHAMBERS [(7 X 7.4') + 0.6'] X 10 = 52.4 FT.

LEACH BED PROVIDED: 70 CHAMBERS, 30 FT. WIDE X 52.4 FT. LONG
(SEE SANITARY DISPOSAL SYSTEM PLAN BY HAYES ENGINEERING, INC.
APPROVED 11-18-09 BY GEORGETOWN B.O.H. FOR DESIGN AND TEST
PITS IN RESERVE AREA)



- PUMP NOTES** (PUMP TANK CONSTRUCTION AND INSTALLATION SHALL CONFORM TO 310 CMR 15.231)
- 1.) PUMPS SHALL BE DUAL 0.7 H.P. SEWAGE PUMP CAPABLE OF PASSING 1 1/2" DIA. SOLIDS AS MFG. BY LIBERTY PUMPS, BERGEN, N.Y., 40 GPM @ 17.2 TDH OR APPROVED EQUAL (L.F. 72-SERIES)
 - 2.) PUMP SHALL BE INSTALLED ACCORDING TO MFG. SPECS & RECOMMENDATIONS AND SET TO ALTERNATE DOSES
 - 3.) HIGH WATER ALARM & MANUAL OPERATING SWITCH SHALL BE INSTALLED IN ACCESSIBLE LOCATION INSIDE THE DWELLING AND IN COMPLIANCE WITH LOCAL BLDG. CODE
 - 4.) ALARM SHALL BE POWERED BY A CIRCUIT SEPARATE FROM THE PUMP POWER
 - 5.) ALL INLETS & OUTLETS SHALL BE SEALED WITH HYDRAULIC CEMENT.
 - 6.) PUMP CHAMBERS SHALL BE SEALED AND SHALL BE WATERTIGHT.
 - 7.) EMERGENCY STORAGE ABOVE "ALARM ON" = 2.49 x 864 GAL/FT. = 2,151 GAL/DAY, SUFFICIENT FOR 24 HR. STORAGE (1,938 GAL)
 - 8.) PUMPS ARE SET TO DOSE SAS $\frac{3}{3}$ TIMES PER DAY.
 - 9.) FLOW BACK VOLUME: $\pi(0.083)^2 \times 100' \times 7.48 \text{ GAL/S.F.} = 16.2 \text{ GAL}$
 - 10.) 1,938 GAL/3=646 GAL + 16.2 GAL = 662 GAL
 - 11.) 662 GAL/864 GAL/FT = 0.76 FT (SET PUMP @ 0.76 FT)



DEEP TEST RESULTS

EL.	T-1	T-2
105.0	F.S.L. 10YR 3/3	F.S.L. 10YR 3/3
102.1	S.L. 10YR 4/6	S.L. 10YR 4/6
97.0	S.L. 2.5Y 4/4	S.L. 2.5Y 4/4

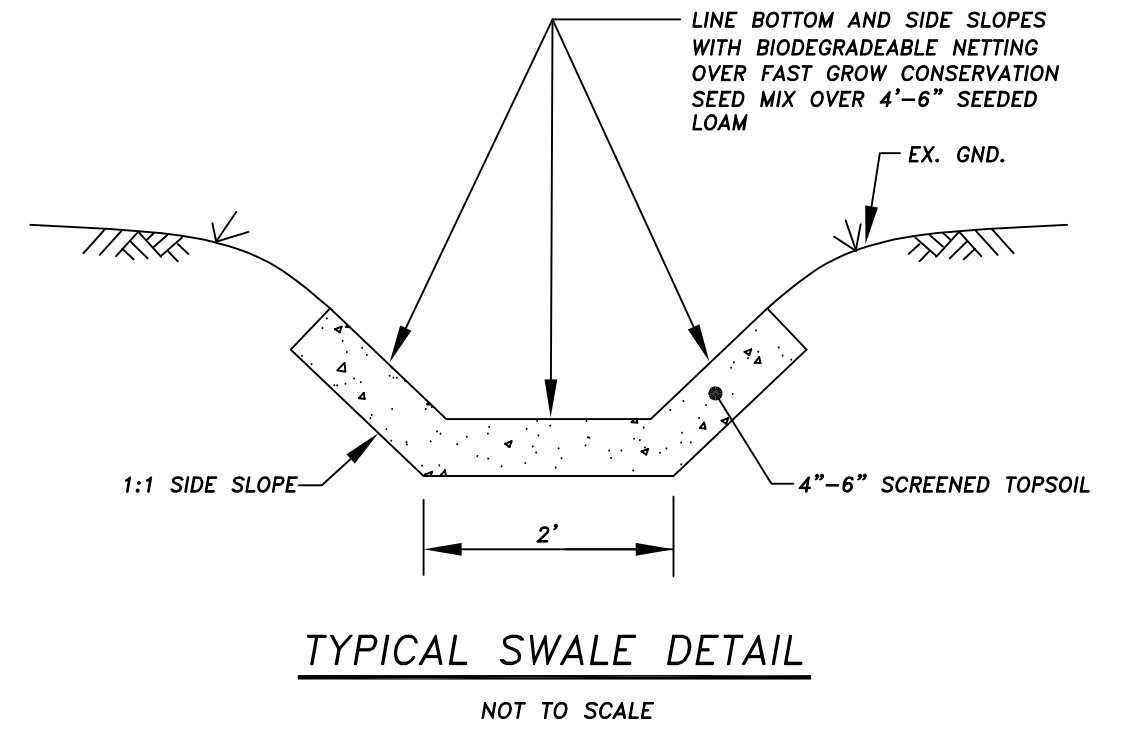
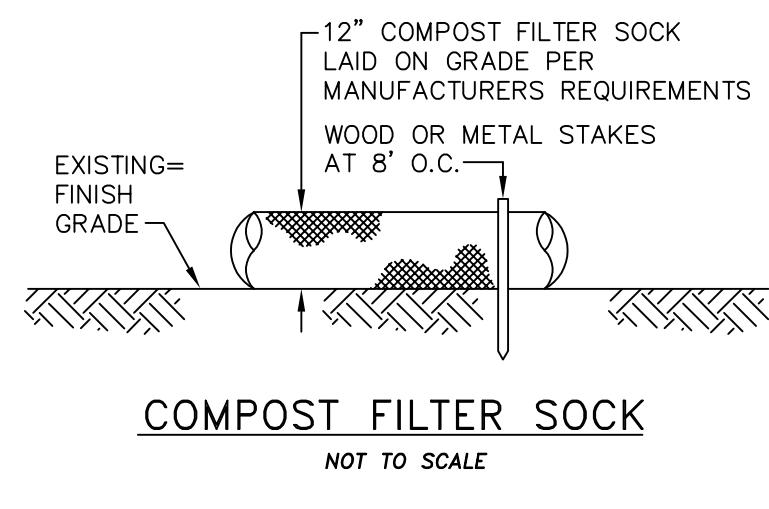
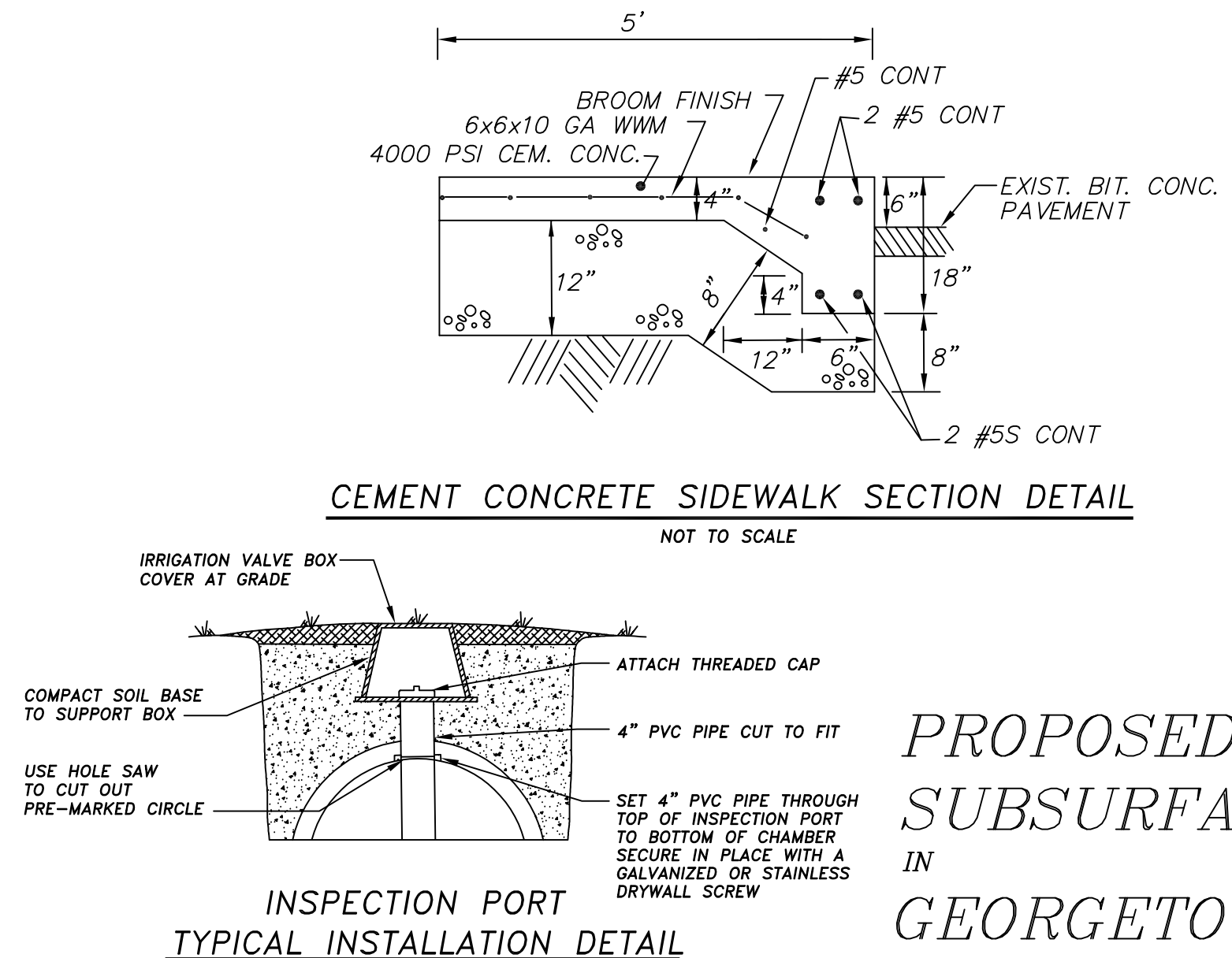
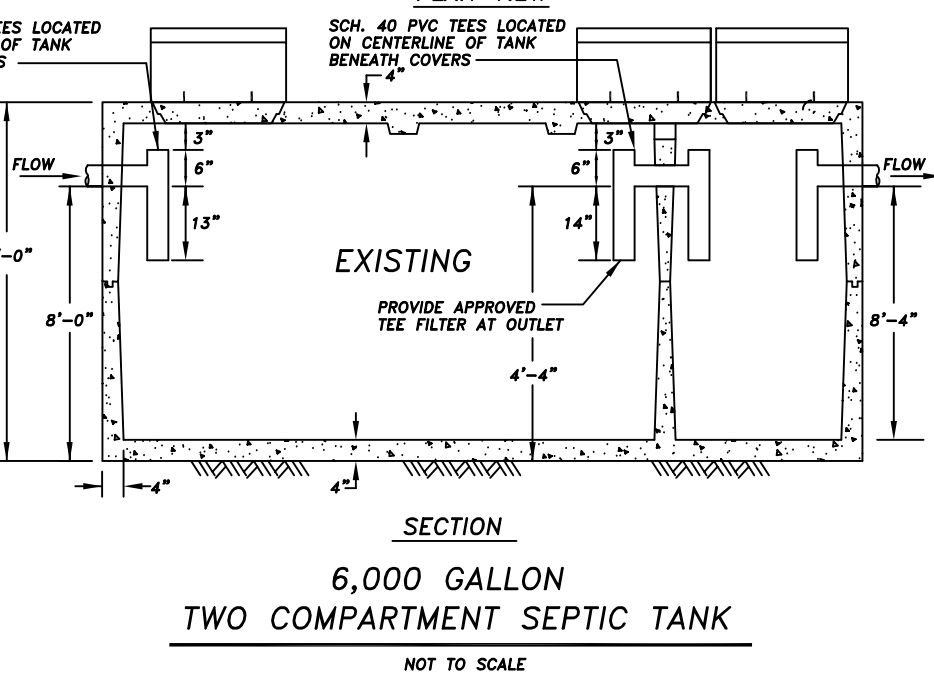
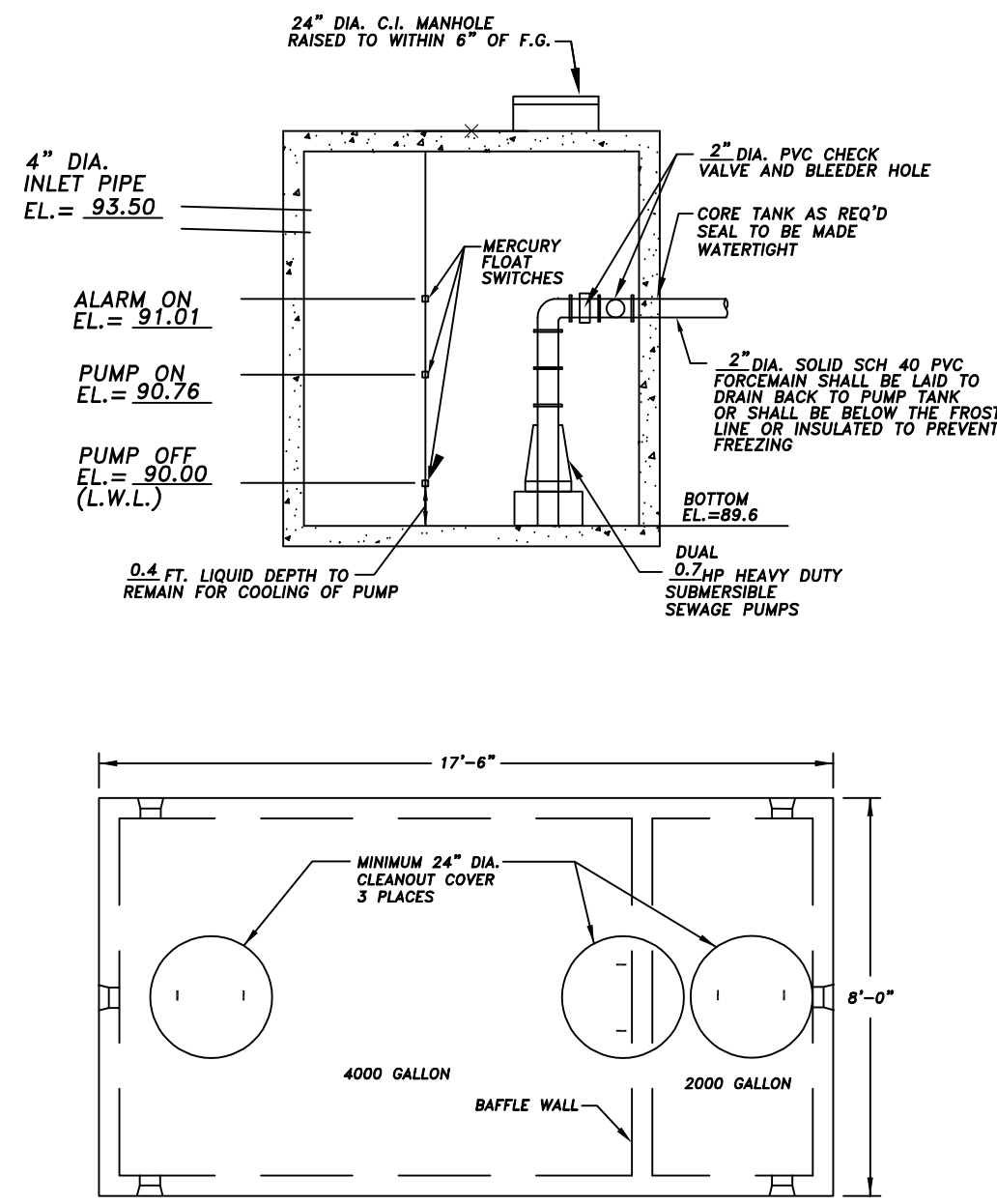
O.W.T. = NONE
E.S.W.T. = 67"
EL. = 99.4

TEST DATE: 12-5-18
EVALUATOR: BILL DUFRESNE SE #640
INSPECTOR: DEB ROGERS

PERC TEST RESULTS

DEPTH	P-1
54"	
SOAK TIME	15
12"-9" DROP	12
9"-6" DROP	18
PERC RATE	6 M.P.I.

TEST DATE: 12-5-18
ENGINEER: BILL DUFRESNE SE #640
INSPECTOR: DEB ROGERS



PROPOSED SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN IN GEORGETOWN, MA

65 CENTRAL STREET
PREPARED FOR
JD LAGRASSE & ASSOCIATES INC.
ONE ELM SQUARE
ANDOVER, MA 01810
DATE: MARCH 29, 2019

SCALE: 1"=20'
MERRIMACK ENGINEERING SERVICES
66 PARK STREET
ANDOVER, MASSACHUSETTS 01810
PHONE: (978) 475-3555 FAX: (978) 475-1448
EMAIL: MERRENG@AOL.COM

