

Georgetown, MA

DESIGN TEAM

ARCHITECT J.D. LaGRASSE & ASSOCIATES Inc. 1 ELM SQUARE ANDOVER, MA 01810 978-470-3675

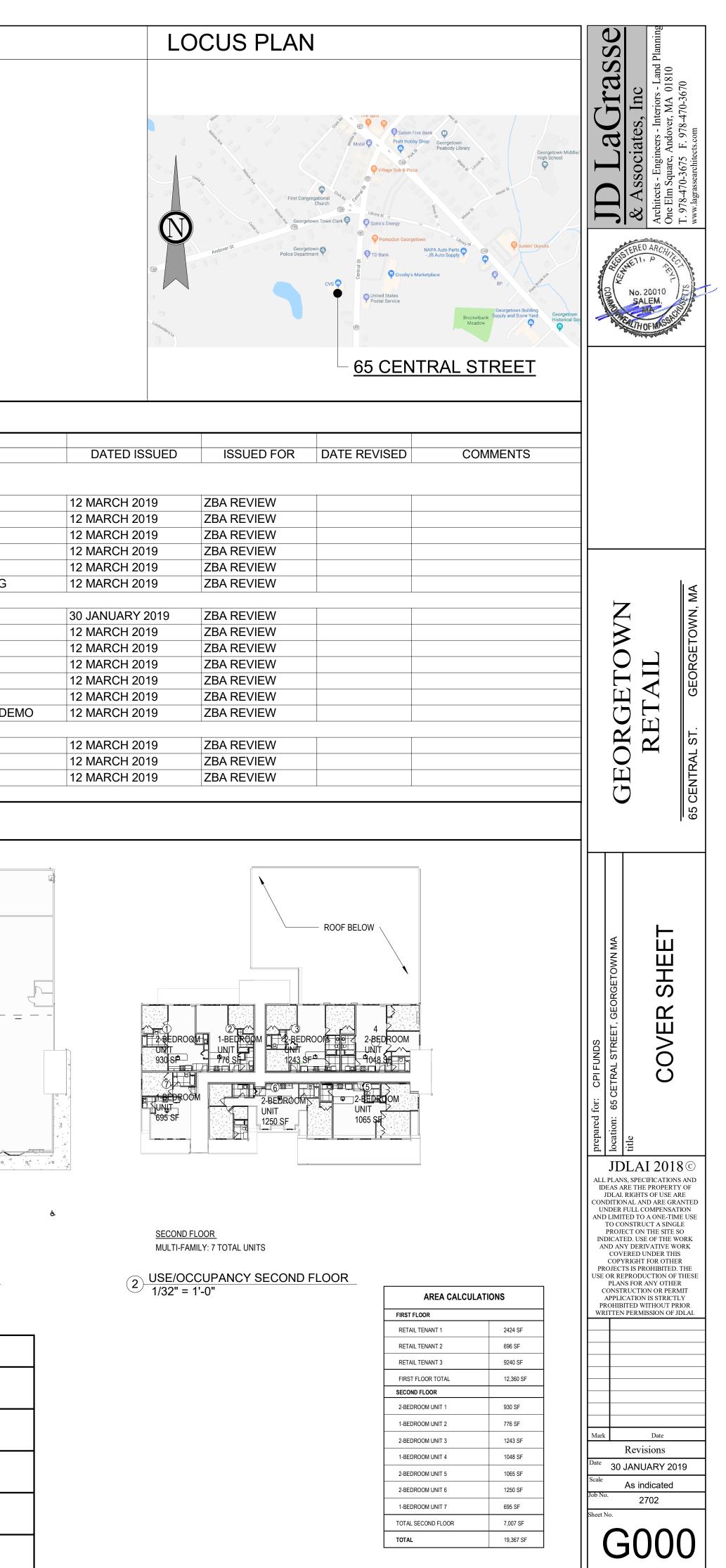
GENERAL CONTRACTOR BUILD-IT CONSTRUCTION 73 NEWTON RD. PLAISTOW NH 603-974-1798

STRUCTURAL ENGINEER GELINAS STRUCTURAL ENGINEERING LLC 579A NORTH END ROAD SALISBURY MA 01952 978-465-6436

MEP DESIGN BUILD

FIRE PROTECTION DESIGN BUILD

	SHEET L	IST
	SHEET	
	NUMBER	SHEET NAME
	01 GENERA	AL
	G000	COVER SHEET
	G001	CODE COMPLIANCE
	G002 G005	GENERAL NOTES & LEGENDS LIFE SAFETY PLAN
	G005 G006	MAAB
	G007	PROPOSED SITE UTILITIES & LIGHTING
	05 ARCHIT	ECTURAL
	A100	PROPOSED LANDSCAPING PLAN
	A101	PROPOSED FIRST FLOOR PLAN
	A102 A200	PROPOSED SECOND FLOOR PLAN PROPOSED ELEVATIONS
	A200 D100	FIRST FLOOR DEMOLITION PLAN
	D101	SECOND FLOOR DEMOLITION PLAN
	D200	EXTERIOR ELEVATIONS - EXISTING + DE
	06 CIVIL	
	C001	EXISTING SITE PLAN-STAMPED
	C100	SEPTIC SITE PLAN
	C200	SEPTIC DETAILS
MEP NARRATIVE	OCCU	PANCY
NOTE: ALL MEP / FP WORK TO BE DESIGN-BUILD BY CONTRACTOR		
SEPTIC USE SUMMARY CALCULATIONS	-	
EXISTING SEPTIC SYSTEM: 1,890 GALLONS PER DAY (GPD) ALLOWED		
PROPOSED USE CALCULATIONS (STATE): 1ST FLOOR RETAIL:		
12,360 SF @ 50 GPD/1,000 SF = 618 GPD REQUIRED 2ND FLOOR RESIDENTIAL:		
(12) BEDROOMS X 110 GPD PER BDRM. 1320 GPD REQUIRED	.4	
TOTAL GPD REQUIRED FOR PROPOSED USE =1938 GPD	~	
PROPOSED USE CALCULATIONS (LOCAL): 1ST FLOOR RETAIL:	4	
12,360 SF @ 50 GPD/1,000 SF = 618 GPD REQUIRED 2ND FLOOR RESIDENTIAL:	i.	① ② 9240 SF
(12) BEDROOMS X 165 GPD PER BDRM. 1980 GPD REQUIRED	-	RETAIL RETAIL TENANT TENANT
TOTAL GPD REQUIRED FOR PROPOSED USE = 2598 GPD		2424 SF 696 SF
RESERVE AREA CALCULATIONS:	Q	
<u>1938 GPD/0.60 GPD/S.F. = 3230 S.F.</u> WITH 25% REDUCTION 3230 x .75 = 2,423 S.F.		
NOTE: REFER TO CALCULATIONS PROVIDED ON FINAL SEPTIC DESIGN FEBRUARY 9 ,2019		
SAFEGUARD NARRATIVE		<u>FIRST FLOOR</u> COMMERCIAL RETAIL: 3 TOTAL UNITS
	1	
IN CONFORMANCE WITH CHAPTER 33 IBC 2015, 780 CMR 33.00 AND NFPA-241 REFERENCED IN 780 CMR 35.00 THE FOLLOWING WILL BE DONE TO SAFEGUARD AGAINST FIRES DURING CONSTRUCTION, ALTERATIONS AND DEMOLITION OF 65 CENTRAL STREET, GEORGETOWN MA, WHICH SHALL BE REGULATED BY 780 CMR OF THE 9th EDITION OF THE MASSACHUSETTS STATE BUILDING CODE.	(1 USE/OCCUPANCY FIRST FLOOR 1/32" = 1'-0"
"REQUIRED EXITS, EXISTING STRUCTURAL ELEMENTS, FIRE PROTECTION DEVICES AND SANITARY SAFEGUARDS SHALL BE MAINTAINED AT ALL TIMES DURING REMODELING, ALTERARIONS, REPAIRS OR ADDITIONS TO ANY BUILDING OR STRUCTURE" AS PER THE CODES REFERENCED ABOVE.	PLANN	IING BOARD SIGNATURE
EXISTING FIRE PROTECTION SYSTEMS ARE ALL IN COMMUNICATION WITH THE FIRE ALARM CONTROL PANEL, THE REMOTE ANNUNCIATORS AND THE MASTER BOX.		
DURING DEMOLITION AND CONSTRUCTION THE EXISTING DEVICES WILL BE COVERED TO PREVENT CONTAMINATION BY DUST. THEY WILL BE UNCOVERED AT THE END OF EACH WORK DAY TO ENSURE THAT THE SPACE IS SAFEGUARDED AGAINST FIRE. THE SPRINKLER SYSTEM WILL STAY FULLY INATCT AND FULLY FUNCTIONAL UNLESS WORK IS BEING PERFORMED ON THE SYSTEM, HOWEVER THE SYSTEM WILL BE FULLY OPERATIONAL AT THE END OF EACH DAY.		
ALL NECESSARY PRECATIONS WIL BE TAKEN TO ENSURE THAT ALL FIRE PROTECTION DEVICES WILL BE PRESERVED AND FUNCTION AT ALL TIMES IN ORDER TO ADHERE TO THE CODES LISTED ABOVE AND LIFE SAFETY 101		
SAFETY 101.		



EXISTIN	IG BUILDING CODE REVIEW	CODE REVIEW	
	DING LIMITATIONS AS PER REQUIREMENT OF THE 2015 INTERNATIONAL EXISTING BUILDING		
. ,	N CONJUNCTION WITH CMR 780 AMMENDMENTS.		
GROUND FLOO	R (TO REMAIN) AND NEW RESIDENTIAL APARTMENTS ON SECOND FLOOR. EXISTING GROSS R SQUARE FOOTAGE IS 13,739 +/- SF; EXISTING GROSS 2nd FLOOR SQUARE FOOTAGE IS 8,507	GENERAL BUILDING LIMITATIONS AS PER REQUIREMNT CONJUNCTION WITH CMR 780 AMMENDMENTS	OF THE 2015 INT
	STING BUILDING IS FULLY SPRINKLERED w/ NFPA 13 SYSTEM. THE 2nd FLOOR IS A CHANGE OF INESS - B TO MULTIFAMILY USE GROUP R-2 (THIS IS WORKAREA).	CHAPTER 3 - USE and OCCUPANCY	
JSE GROUP:	MIXED USE: MERCANTILE - M & R-2 (NEW)	SECTION 304 - MERCANTILE GROUP M (MOST RESTRICT	ΓIVE)
DCCUPANT LOA	<u>D:</u> REFER TO SECTION 1004 OF CODE REVIEW	CHAPTER 5 - GENERAL BUILDING HEIGHTS and AREAS SECTION 503 - GENERAL BUILDING HEIGHTS and ARE 503.1 GENERAL No proposed change to existing building h	
	ASSIFICATION of WORK	CHAPTER 6 - TYPES OF CONSTRUCTION	-
- SECTION 505 505.1	ALTERATIONS - LEVEL 3 SCOPE	SECTION 602 - CONSTRUCTION CLASSIFICATION 602.5 TYPE V	Fire I VB Prima
505.2	Alterations exceed 50 percent of the aggregate area of the building. APPLICATION All alterations comply with the provisions of Level 1, Level 2, and Level 3 alterarions.	The building will be classified as Type VB construction.	Bearin Exteri
HAPTER 7 - AL	TERATIONS - LEVEL 1		Interio
ECTION 702 -	BUILDING ELEMENTS and MATERIALS All newly installed materials and finishes comply with this code along with Chapter 8		Exteri
ECTION 703 -	of the IBC. FIRE PROTECTION		Interio Floor
improv	The existing facility has a fully automatic sprinkler system. The system shall be ed to provide adequate protection for the new layouts.		Roof
ECTION 704 -	MEANS of EGRESS All means of egress level of protection shall be maintained during construction.		Secor
ECTION 705 -	ACCESSIBILITY	CHAPTER 7 - FIRE and SMOKE PROTECTION FEATURES	
	The proposed alterations allow for compliance with the IBC and the Massachusetts ctural Access Board (MAAB).	SECTION 701 - GENERAL 701.1 SCOPE	
ECTION 707 -	STRUCTURAL	The existing building shall comply with the unless specified to adhere to the requirements of the	
	There are no structural improvements required for the project.	SECTION 705 - EXTERIOR WALLS	
ECTION 801 - 801.3	TERATIONS - LEVEL 2 GENERAL COMPLIANCE	705.5 FIRE-RESISTANCE RATINGS Per Tables 601 & 602, all exterior walls ar	re not required to h
	All new construction elements, components, systems, and spaces comply with the ments of the IBC.	rating. CHAPTER 8 - INTERIOR FINISHES	
ECTION 803 -	BUILDING ELEMENTS and MATERIALS	SECTION 801 - GENERAL 801.1 SCOPE	
803.4	INTERIOR FINISH All new interior finishes in the designated work area shall comply with the	All new and repaired finishes shall comply	y with the requirem
	ments of the IBC.	CHAPTER 9 - FIRE PROTECTION SYSTEMS SECTION 903 - AUTOMATIC SPRINKLER SYSTEMS	
- SECTION 804 804.2	FIRE PROTECTION AUTOMATIC SPRINKLER SYSTEMS The quinting facility is equipmed with a fully systematic appinder system	903.1 GENERAL The existing building shall comply with the	
804.4	The existing facility is equipped with a fully automatic sprinkler system. FIRE ALARM and DETECTION The system shall be improved with the revised layouts and include smoke detectors,	unless specified to adhere to the requirements of this system shall remain in effect and be improved to pro	
	CO detectors, pull stations, and horns.	SECTION 906 - PORTABLE FIRE EXTINGUISHERS 906.1 WHERE REQUIRED	
ECTION 805 - 805.3	MEANS of EGRESS NUMBER of EXITS	Portable fire extinguishers shall be installe 1) In new and existing Group A, B, E, F, F	
805.4	The number of exists shall comply with the IBC. EGRESS DOORWAYS	2) Within 30 feet of commercial cooking er3) In areas where flammable or combustik	equipment.
805.7	Modifications shall be made to egress doors, which are not adequate. MEANS-OF-EGRESS LIGHTING	4) On each floor of structures under const5) Where required by the International Fire	e Code sections in
805.8	Means of egress lighting shall comply with the requirements of the IBC. EXIST SIGNS	 Specific hazard areas, including but not generator rooms, where required by fire code official 	
ECTION 806 -	Exit signs shall be provided in accordance with the requirements of the IBC. ACCESSIBILITY	906.3 SIZE and DISTRIBUTION The size and distribution of portable fire early	avtinguisheer shall l
	The proposed alterations allow for compliance with the IBC and the MAAB.	Sections 906.3.1 through 906.3.4.	
ECTION 807 -	STRUCTURAL There shall be no alterations to the buildings's structural system.		_Fire I
ECTION 808 -	ELECTRICAL All electrical work shall comply with the requirements of this section.		Minimu
ECTION 809 -	MECHANICAL All reconfigured or altered mechanical systems shall comply with the requirements of		Maximu Maximu
	this section along with that of the IMC.		Maximu
SECTION 901 -	TERATIONS - LEVEL 3 GENERAL	SECTION 907 - FIRE ALARM and DETECTION SYSTEM 907.1 GENERAL	IS
901.2	COMPLIANCE All work complies with the provisions of this chapter and Chapters 7 and 8.	This section covers the application, install alarm systems and their components.	lation performance
ECTION 903 - 903.3	BUILDING ELEMENTS and MATERIALS INTERIOR FINISH	CHAPTER 10 - MEANS of EGRESS	
905.5	Interior finish in exits serving the work area shall comply with Section 803.4.	SECTION 1001 - ADMINISTRATION 1001.1 GENERAL The existing building shall comply with the	e requierments of t
ECTION 904 - 904.1	FIRE PROTECTION AUTOMATIC SPRINKLER SYSTEMS	unless specified to adhere to the requirements of this	
	The existing facility is equipped with a fully automatic sprinkler system. The existing system to be revised to provide adequate protection for the new layouts.	SECTION 1004 - OCCUPANT LAOD 1004.1 DESIGN OCCUPANT LOAD	
904.2	FIRE ALARM and DETECTION The fire alarm and detection systems shall comply with Section 907 of the IBC.	2nd Floor (Workarea) 8,507gsf / 200gsf / Occupant = 43 Occupa	ant Load
SECTION 905 -	MEANS of EGRESS	SECTION 1005 - MEANS of EGRESS SIZING	
905.1	GENERAL The means of egress comply with the requirements of Section 805.	1005.3 REQUIRED CAPACITY BASED ON OCC <u>2nd Floor (Workarea)</u> 12 coursents in 0.21 = 0.01 min. unless on	
- ECTION 906 906.1	ACCESSIBILITY GENERAL	43 occupants x 0.2" = 8.6" min., unless sp 108" min. provided for all spaces.	pecilied elsewhere
000.1	All alterations comply with the requirements of MAAB, 521 CMR.	too min. provided for all spaces.	
- ECTION 907 907.1	STRUCTURAL GENERAL		
	There shall be no alterations to the buildings's structural system		
- ECTION 908 908.1	ENERGY CONSERVATION MINIMUM REQUIREMENTS		
	Only the alterations shall conform to the energy requirements of the IECC as they o new construction only.		

INTERNATIONAL BUIL	DING CODE (IBC) -	1008.2 ILLUMINATION REQUIRED The means of egress, including the exit discharge, shall be illuminated at all times the building space served by the means of egress is occupied. SECTION 1010 - DOORS, GATES and TURNSTILES	
		1010.1 DOORS 1010.1.1 Size of Doors All newly installed doors shall meet a minimum clear width of 32" and shall not be less than 80 inches in height.	
<u>Table 6</u> re Resistance Rating o		SECTION 1013 - EXIT SIGNS	
/B Primary Structural Frame	0 Hours	1013.1 WHERE REQUIRED Exits and exit access doors shall be marked by an approved exit sign readily visible	
Bearing Walls: Exterior nterior	0 Hours 0 Hours	from any direction of egress travel. The path of egress travel to exits and within exits shall be marked by readily visible exit signs to clearly indicate the direction of egress travel in cases where the exit or path of egress travel is not immediately visible to the	
Nonbearing Walls & Partitions:	0 Hours	occupants. Intervening means of egress doors within exits shall be marked by exit signs. Exit sign placement shall be such that no point in an exit access corridor or exit passageway is more than 100 feet	
Nonbearing Walls & Partitions: nterior	0 Hours	or the listed viewing distance for the sign, whichever is less, from the nearest visible esit sign. Exceptions:	
Floor Construction & Secondary Memebrs	0 Hours	1) Exit signs are not required in rooms or areas that require only one exit or exit access.	
Roof Construction & Secondary Members	0 Hours	1013.3 ILLUMINATION Exit signs shall be internally or externally illuminated.	
		1013.5 INTERNALLY ILLUMINATED SIGNS Electrically powered, self-luminous and photoluminescent exit signs shall be listed and labeled in accordance with UL 924 and shall be installed in accordance with the manufacturer's instructions and Chapter 27. Exit signs shall be illuminated at all times.	
of the Existing Building (Code,	SECTION 1017 - EXIT ACCESS TRAVEL DISTANCE 1017.2 TRAVEL DISTANCE LIMITATIONS The existing building complies with the allowable 250' max. travel distance per Table	
to have a fire-resistance		1017.2 with a M Occupancy and Automatic Sprinkler System.	
rements of this chapter.			
of the Existing Building (existing sprinkler in the new layouts.	Code,		
ng locations- 2, R-4 and S occupancie			
stored, used or dispensed			
s indicated in Table 906. ratories, computer room			
all be in accordance with			
re Extinguisher for Cla	Light (Low) Hazard Occu	w)	
nimum Rated Single Extinguisher aximum Floor Area per Unit of A	2-A 3,000 SF		
aximum Floor Area for Extinguisher aximum Travel Distance to Extinguis		SF	
nce and maintenance of	fire		
of the Existing Building (Code,		
ere in this code.			
couo.			

	DELECTOR Indexembles of the second se
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Brobert of the second structure of the second structur	E E
	But the second state of th

DEN	MOLITION NOTES:			GEN	ERAL NOTES	
D1.	CONTRACTOR SHALL SECURE ALL PER COMMENCING.	MITS PRIOR TO AN	YWORK	G1.	<u>GENERAL CONDITIONS:</u> THE GENERAL C JMENT A201 (1997 EDITION) EXCEPT AS N	ONDITIONS FOR THIS CONTRA
D2. D3.	ALL DEBRIS SHALL BE DISPOSED OF IN COORDINATE WITH OWNER FOR DUMI	-	R.	G2 . SPECIFIE A COMPL	<u>SCOPE:</u> WORK TO INCLUDE CONSTRUCT D HERIN. EACH CONTRACTOR TO FURNI	ION AS INDICATED ON THE SH ALL LABOR AND MATERIA RACTOR SHALL RESPECT THE V
D4. D5. D6.	PREP ALL FLOOR SLABS AND BEAMS A PATCH AND REPAIR FLOOR AS NEEDE ACCEPTABLE SUBSTRATE FOR NEW W DEMO ALL EXISTING ELECTRICAL WIRI	d to provide SMC Ork.	DOTH &	G3. LOCAL, S PROTEC ARISING	CIORS AND ARE RESPONSIBLE FOR AN BY THEIR WORK. CODES: ALL WORK SHALL BE PERFORME TATE, AND FEDERAL REGULATIONS HAV AND INDEMIFY THE OWNER AND THE FROM ANY SUCH CODE OR REGULATIO CMR ARE APPLICABLE BUILDING AND AC	ED IN STRUCT COMPLIANCE WI ING JURISDICTION. THE CONTF ARCHITECT AGAINST AN N. IBC 2009 WITH MA AMMENDM
R1. R2. R3. FABF R4. FIXTI CON ^T R5.	DEMO ALL EXISTING MECHANICAL DUC DEMO DAMAGED CEILINGS. DEMO WALLS & DOORS INDICATED ON DEMO EXISTING FLOOR FINISHES. PREPARE ALL WALLS, CEILINGS & FLOO FLECTED CEILING PLA EXISTING CEILING HEIGHT SHALL REM ALL TELE / DATA SYSTEMS SHALL BE TENANT AND COMPLETED BY SUBCON NEW MINI SPLIT SYSTEM SHALL BE CO MECAHNICAL CONTRACTOR AND SUB RICATION. ALL POWER OUTLETS, ELECTRIC PAN URES SHALL BE COORDINATED AND TRACTOR. APPROVAL OF JURISDICTION REQUIRED PRIOR TO CONSTRUCTION GC SHALL COORDINATE STYLE AND FOR TO PURCHASE AND INSTALLATION.	PLAN. DRS TO RECIEVE NE AN NOTES MAIN, U.N.O. COORDINATED WITH NTRACTOR. DMPLETED BY A DEE MITTED TO ARCHIT EL, SWITCHING, SM COMPLETED BY AN IAL AUTHORITY ANI I.	H OWNER / SIGN BUILD ECT PRIOR TO OKE DETECTORS & LIGHT ELECTRICAL DESIGN BUILD D OWNER / TENANT	G4. WORK OF THEIR CC CONTRAGG5.G6. OF THE E SHALL CCG7. THEIR WO THE TIME G8. ANY OTHG8. ANY OTH G9. EXAMINE THEMSEL PROPOSIFROM FL COMPLE ADDITION G10. GENERAL	COORDINATION OF THE WORK: THE GEN ALL THE SUBCONTRACTORS AND MECH INTRACT FROM THE OWNER OR THE CTOR'S INSTRUCTIONS SHALL BE FO THE CONTRACTOR SHALL OBTAIN AND F INSPECTIONS AND APPROVALS. QUALITY: WORKMANSHIP SHALL BE THE EST QUALITY THAT THE MARKET AFFOR ONFORM TO MANUFATURER'S SPE MECHANICAL TRADES: THE MECHANICAL DRK AS RAPIDLY AS THE OTHER WORK P THE OTHER TRADES HAVE FINISHED. CONTRACTOR SHALL BE RESPONSIBLE DIMENSIONS WITH ARCHITECTURAL, STE ER SUBCONTRACTOR'S DRAWINGS. EXAMINATION OF THE SITE AND DOCUM THE DRAWINGS AND SPECIFICATIONS C VES AS TO ALL EXISTING CONDITIONS AL. FAILURE TO VISIT THE SITE ANI CONDITIONS AND LIMITATIONS WILL IN N RNISHING ANY MATERIALS OR PERFORM TE THE WORK IN ACCORDANCE WITH IAL COST TO THE OWNER. SEPARATE CONTRACTS: THE OWNER RE CONTRACTOR SHALL AFFORD OTHER O	IERAL CONTRACTOR SHALL IANICAL TRADES WHETH E GENERAL CONTRACTOR. THE DULOWED BY ALL TRADES. PAY FOR ALL REQUIRED PERMIT HIGHEST TYPE AND MATERIAL D. ALL INSTALLATIONS ECIFICATIONS. AND ELECTRICAL TRADES SH ERMITS AND SHALL COMPI FO VERIFY AND COORDINATE A RUCTURAL, ELECTRICAL, ENTS: ALL CONTRACTORS ARE AREFULLY, VISIT THE SITE, AND LIMITATIONS PRIOR TO S D NOT FAMILIARIZING WITH THE IO WAY RELIEVE THE SUCCESS ING ANY WORK THAT I THE DRAWINGS AND SPE ESERVES THE RIGHT TO LET OT WORK BE SCHEDULED IN THE CONTRACTORS REASO
					EXECUTION OF THEIR WORK AND SH/ TH THEIRS.	
					F	(H)
					ACOUSTICAL CEILING	
					CEILING MARK	-\$-
					SUPPLY AIR	
					RETURN AIR	
					EXHAUST FAN	c
				FE	FIRE EXTINGUISHER	D
						E
& @ # ~ ~ ABV ACT ADDL ADJ AFF AHU ALT ALUM ANUN AP APC APROX ARCH AUTO BD BFE BIT BLDG BLKG BLW BM BO BOF BOT BR BRG	And At Pound/Number Degree ANGLE ABOVE ACOUSTICAL CEILING TILE ADDITIONAL ADJACENT ABOVE FINISH FLOOR AIR HANDLING UNIT Mech. ALTERNATE ALUMINUM ANUNCIATOR ACCESS PANEL ARCHITECTURAL PRECAST CONCRETE APPROXIMATE ARCHITECTURAL/ architect AUTOMATIC BOARD BOTTOM FOOTING ELEVATION BITUMINOUS BUILDING BLOCKING BELOW BEAM BOTTOM OF BY OWNER FUTURE BOTTOM BRICK BEARING	BSMT BTWN BUR C CAB CANTL CAP CAT CCTV CG CJT CL CLG CLG CLG CLR CO COL COMB CONC CONF CONN CONST CONT CONT CONT CONT CONT CONT CONT CON	BASEMENT BETWEEN BUILT-UP ROOFING CHANNEL CABINET CANTILEVER CAPACITY CATEGORY CLOSED CIRCUIT TELEVISION CORNER GUARD CONTROL JOINT CENTER LINE CEILING CLEAR CASED OPENING COLUMN COMBINATION/-ED CONCRETE CONFERENCE CONFERENCE CONNECT/-ED/-ION CONSTRUCTION CONSTRUCTION CONTINUE/OUS CONTRACT/OR CORDINATE CORRIDOR CARPET CHAIR RAIL CERAMIC TILE CENTER CABINET UNIT HEATER COLD WATER CYLINDER	D DEMO DEPT DF DIA DIAG DIFF DIM DISP DIST DIV DN DR DWG EA EC EF EIFS EJT EL ELEC ELEV EMERG ENCL ENTR EQ EQUIP EWC EXF EXC EXH EXIST EXP EXT	DEPTH OR DEEP DEMOLITION DEPARTMENT DRINKING FOUNTAIN DIAMETER DIAGONAL DIFFUSER DIMENSION DISPENSER DISTRIBUTION DOWN DOWN DOOR DRAWING EACH ELECTRIC CABINET EACH FACE EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ENTRANCE EQUAL EQUIPMENT ELECTRIC WATER COOLER EXHAUST FAN EXCAVATE/-ED/-ION EXHAUST HOOD EXISTING EXPANSION EXPANSION EXTERIOR	FAFIREFBRFACFDFLOUFDNFOUFEFIREFINFINISFIXTFLXTFLFLOUFLASHFLASFLEXFLEDFLUORFLUUFOFACFOSFACFUTFURFUTFURFUTFUTGAGAUGALVGALGRGRAGCGENGENGENGRGRAGWBGYPHHEIOHDHAN

RACT SHALL BE DRAWINGS AND ERIALS NECCESSARY FOR HE WORK OF OTHER REPLACE ANY DAMAGE WITH THE NTRACTOR SHALL ANY CLAIM OR LIABILITY VDMENTS AND MAAB 521 HS PROJECT. COORDINATE THE ETHER THEY RECIEVE THE GENERAL RMITS, RALS USED OR SPECIFIED DNS AND APPLICATIONS SHALL INSTALL MPLETE THIS WORK BY TE ALL MECHANICAL, AND ARE REQUIRED TO TE, FULLY INFORM O SUBMITTING THEIR THE EXISTING ESSFUL BIDDER AT MAY BE REQUIRED TO SPECIFICATIONS AT NO TOTHER HE SPACE. THE ASONABLE OPPORTUNITY ND COORDINATE HIS	PERIOD OF ONE A LONGER PERI G12. TRASH PROVIDE A COM (DUMPSTER LOU AREAS SHALL B AND O THE PREMISES INTENDED USE THEIR OPTION) G13. WORK SIMILAR TO THA ALL SE PLAN OR SECTI G14. CONTH WRITTEN CONS AND SPECIFICA G15. ALL DI & PARTY WALLS U.N.O. G16. TYPICA G17. PROVI WET LOCATION G18. OWNE TELEP G19. ALLOW INSTALLING GY G20. G.C. TH MATERIALS. G21. THE C REPORT ANY DI G22. FIRE P ELECTRICAL WI	PAY FOR REMOVAL AND BACK CH NOT INDICATED ON A PART OF THE T SHOWN AT CORRESPONDING PLA CTION, DETAILS, MATERIALS, METH ON SHALL APPLY TO ALL SIMILAR LC RACTOR SHALL MAKE NO DEVIATION ENT FROM THE ARCHITECT. IN ANY TIONS, THE MOST RIGID REQUIR MENSIONS ARE TAKEN FROM EXTER 5., INTERIOR FACE OF STUD AND CE AL INTERIOR PARTITIONS ARE NOTE DE WATER RESISTANT GYPSUM THE S. R / TENANT MUST REVIEW & SIGN O HONE, AND DATA RECEPTACLES PR / OWNER / TENANT TO REVIEW CON PSUM TO ALL PARTITIONS. D COORDINATE WITH OWNER / TEN/ DNTRACTOR SHALL VERIFY ALL DIM SCREPANCIES TO THE ARCHITECT I ROTECTION, HEATING, VENTILATIOI LL BE PREPARED BY THE GENERAL SIZE OF OPENINGS FOR VENTS,	CCEPTANCE UNLESS SPE S. VORK, THE GENERAL CON JP SERVICE FOR ALL OWNER). DURING CONST O CLEAN CONDITION, CON OF EACH WORK DAY, CO CLEANED TO THE EXT EBRIS ARE NOT REMOVED HARGE THE CONTRACTOR DRAWINGS, BUT REASON ACES SHALL BE RE ODS ETC. SHOWN AND / CO OCATIONS UNLESS OTH IS FROM THE DESIGN DRA CASE OF CONFLICT BI EMENTS SHALL GOVERN. RIOR FACE OF PARTITION NTER LINE OF STU 2D ON THE DRAWINGS. ROUGHOUT BATHROOMS A FF ON LOCATIONS OF ELE IOR TO INSTALLATION. STRUCTION AND APPROV ANT REGARDING FINISH CO ENSIONS AND CONDITION BEFORE PROCEEDING N, PLUMBING, AIR CONDIT	CIFIED OTHERWISE FOR TRACTOR SHALL CONSTRUCTION DEBRIS RUCTION ACTIVITIES, ALL DUCIVE TO SAFETY NTRACTOR SHALL LEAVE TENT RESPECTIVE OF THE THE OWNER MAY (AT ABLY IMPLIED TO BE EPEATED. OR NOTED ON ANY IERWISE NOTED. WINGS WITHOUT ETWEEN NOTES, DETAILS, ALONG EXTERIOR JD ON INTERIOR WALLS, AND ANY OTHER CCTRICAL, E ALL WORK PRIOR TO OLORS OF ALL S AT THE SITE AND G WITH THE WORK. IONING AND ALL COORDINATE THE TS, BOXES, HANGERS,	AS REQUIRED. THI DIRECTION OR REV CONTRACTOR G24. IT IS NOT FASTENIN CONDITION G25. ALL GYPS OR 5/8" CEMENT BU REPRESENTATIVE. ALL FASTENE PAINT, TILE, WOOD G26. STORAGE SPACE A THEFT. G27. PROTECT FROM DAMAGE DU G28. TEMPORA TELEPHONE, AND I CONTRACTOR WIL THIS ROJECT. G29. THE CON SANITARY PIPING, CONTRACTOR WIL THIS ROJECT. G29. THE CON SANITARY PIPING, CONTRACTOR SHA SHOWN IN DRWAIN FIELD CONDITION AND APPROVALS IN G30. SHOP DR OWNER / TENANT IN APPROVAL PRIOR G31. DAMAGE: BUILDING, WALLS, DUE TO CONSTRUE BLEND TO G32. THE GENI ADDRE	ERAL CONTRACTOR SHALL SAF S WORK SHALL BE THE FULL RE /IEW OF ANY SYSTEM OR OF THIS RESPONSIBILITY. INTENT OF THESE DRAWINGS IG OR FRAMING TECHNIQUES / DNS PRESENT. 3000000000000000000000000000000000000	ESPONSIBILITY OF THE CONTR METHOD BY THE ARCHITECT S TO SHOW NOR INDICATE ANY (DEVICES NOR BE ABLE TO SH ('FIRE CODE, 5/8" MOISTURE) BE SELECTED BY THE OWN RED BY US GYPSUM OR EQUA SORIES AND TAPE OR SKIM CO , PANELING, ETC. OVIDE ON SITE WEATHER ALS DRY FROM EATHER ALS DRY FROM EATH PROTECT ALL PUBLIC AND 'OR SHALL PAY FOR EXISTING N WITH TE OWNER AND 'OR SHALL PAY FOR EXISTING N WITH TE OWNER AND 'ICES TO THE OWNER UPON FI OCATION AND ACTUAL DEPTH ER MAINS, ELECTRICAL LII NITARY AND STORM LINES AS I ('DISCREPANCIES IN THESE PI HE ARCHITECT. ALL NECCESS/ PER AUTHORITIES HAVIN ES TO SUBMIT SHOP DRAWING ONG TO THE ARCHITECT / EI S RESPONSIBLE FOR ANY DAM E AND FURNISHINGS. EPAIRED AND / OR REPLACED AT NO ADDITIONAL COST TO TO SPARE A BOOK / BINDER CONT USED ON JOB WITH NAMES, TION - PHONE AND E-MAIL; BUCTION MANUALS FOR EQUIP	ACTOR AND NO0 ACT, SHALL RELIEVE THE OR ALL OW ALL RESISTANT TYPE X, ER / TENANT L. FINISH ALL JOINTS, DAT) FOR ROTECTED ER AND SAFE FROM ADJACENT AREAS SERVICES (WATER, D REQUIERD BY WORK, NAL ACCEPTANCE OF OF ALL EXISTING NES, AND PIPES. REQUIERD BY WORK, ANS AND ACTUAL ARY PERMITS IG JURISDICTION. OS TO THE NGINEER FOR MAGE TO THE DAMAGED SURFACES, AS REQUIRED TO HE OWNER / TENANT. AINING: MENT	ARMY SPECIFICATI IS COMPLETED IN A G34. LAY IN CE WITH MATCHING G INSTALLATION. PRO EQUAL. G35. CARPET / SELECTED BY OWN G36. SPRINKLE DRAWINGS SHOP DRAWINGS S DRAWINGS. WHERE TILE. NOTIFY G37. THE GENE OPENINGS FOR VE G38. ALL INTEF CLASS 1 WITH A FL G39. SUBMIT S FOR APPROVAL PR G40. THE GENE TO OUTLINE PHASI G41. ALL WOOD PLYWOOD BETWEE G42. ALL PIPIN WALL. NO EXPOSE OUTSIDE OF RECIE G43. HOT WOR GLOBAL REGULATI G44. ELECTRIC LOCATIONS WITH C	ARCHITECT OF ANY CONFLICTS ERAL CONTRACTOR SHALL COO INTS, PIPES, INSERTS, BOXES, F RIOR FINISHES AND FURNISHING AME SPREAD RATING OF 0-25. AMPLES OF ALL PAINTS AND ST RIOR TO APPLICATION. ERAL CONTRACTOR TO MEET W ING AND CONSTRUCTION SCHEE D BLOCKING TO BE PRESSURE ⁻ EN STUDS, OR 20ga. 6" WIDE FLA G, CONDUIT, BX CABLE AND SIN D CONDUIT, PERMITTED UNLESS EVING AREA. EX SAFTEY PRECAUTIONS ARE E IONS AS A GUIDELINE.	ES TO BE CLEANED AF DNLY. LING PANELS TO BE 24"x24" LA EQUIRED (U.N.O.) 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SMOKE DETECTOR	Ž.	WALL MOUNTED ILLUMINATED EXIT SIGN w/ DIRECTION	P	SPECIAL RECEPTACLE	Φ	DUPLEX RECEPTACLE		REVISION CLOUD	???	BUILDING SECTION NUMBER AND SHEET		EXISTING WALLS	ORO	RE ^T
HEAT DETECTOR	~	EMERGENCY LIGHT		TELEPHONE / DATA	\bigoplus_{EX}	EXISTING RECEPTACLE	FD ⊗	FLOOR DRAIN	A200 X	BUILDING ELEVATION MAR		WALLS TO BE DEMOLISHED	GE	65 CENTF
CARBON MONOXIDE DETECTOR	4 <u>8</u> 4	EMERGENCY LIGHT w/ ILLUMINATED SIGN		TELEPHONE / DATA EXISTING		RECEPTACLE TO BE REMOVED	O RL	RAIN WATER LEADER	A A700	DETAIL / SECTION MARK SECTION # / SHEET #		NEW WALLS		
SPRINKLER HEAD	F	FIRE ALARM PULL STATION	$\overline{\nabla}$	TELEPHONE / DATA TO BE REMOVED	₽	QUAD RECEPTACLE		CONCRETE BLOCK	A700 X	INTERIOR ELEVATIONS SHEET# / ELEV.#	EX	EXISTING DOOR TO REMAIN		৵
2'x4' FLORESCENT LIGHT FIXTURE	F	FIRE ALARM PULL STATION w/ HORN	T	THERMOSTAT	Φ	DUPLEX RECEPTACLE w/ ONE CONTROLLED BY SWITCH		BRICK	?	REFER TO SHEET A700 FOR ASSEMBLY TYPE		DOORS TO BE DEMOLISHED		S T E S
2'x2' FLORESCENT LIGHT FIXTURE	۶	FIRE ALARM PULL STATION w/ HORN & STROBE		ELECTRIC PANEL	•	DUPLEX RECEPTACLE ON EMERGENCY BRANCH	•	SPOT ELEVATION	? ?	ROOM NAME AND NUMBER	?	DOOR & DOOR NUMBER		
8' INDIRECT LINEAR PENDANT	X	FIRE ALARM HORN & STROBE		CEILING MOUNTED ILLUMINATED EXIT SIGN		208v RECEPTACLE	\$	LIGHT SWITCH	(A)	- COLUMN LINE		EXISTING WINDOW TO REMAIN	SON	ERAI
6" RECESSED LIGHT FIXTURE	Ř	FIRE ALARM STROBE	$\overline{\otimes}$	CEILING MOUNTED ILLUMINATED EXIT SIGN w/ DIRECTION	₽ ^{GFI}	GROUND FAULT RECEPTACLE	\$ ₃	3-WAY SWITCH		SOFFIT / CEILING CHANGE OR CABINETS ABOVE		WINDOW TO BE DEMOLISHED	for: CPI FI Approver	GEN
6" RECESSED WALL WASH LIGHT FIXTURE	•	FIRE ALARM REMOTE INDICATOR		WALL MOUNTED ILLUMINATED EXIT SIGN	\bigoplus^{WP}	WATERPROOF RECEPTACLE	\$ _D	LIGHT SWITCH w/ DIMMER		ENLARGED PLAN		WINDOW & WINDOW NUMBER	prepared pre	
		ABBRE	VIATIONS	· · · · · · · · · · · · · · · · · · ·					·				ALL PLANS, S IDEAS ARE	AI 2018 © SPECIFICATIONS AND THE PROPERTY OF
FIRE ALARM FACE BRICK FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FIXTURE FLOOR FLASHING FLEXIBLE FLUORESCENT FACE OF FACE OF STUD FIRE PROOFING FOOT/FEET FOOTING FURRING FUTURE FAUGE FAUGE FAUGE FAUGE FAUGE FAUGE FOOTRAL FOOT	HDR HDW HGT HM HORI HP HR HT HTR HVAC HW HWD IC ID IN INSUL INT INSUL IN INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INSUL INT INT INSUL INT INSUL INT INT INSUL INT INT INSUL INT INT INT INT INT INSUL INT INT INT INT INT INT INT INT INT INT	HANDICAP HEADER HARDWARE HEIGHT HOLLOW METAL HORIZONTAL HIGH POINT HANDRAIL HEIGHT HEATER HEATING, VENTILATING, AIR CONDITIONING HOT WATER HARDWOOD INTERCOM INSIDE DIAMETER NCH INSULATION INTERIOR JANITOR JUNCTION BOX JOIST JOINT LONG AVATORY POUNDS (WIEGHT) LINEAR LOCATION OR LOCATE LOW POINT LIGHTING LOUVER	MATL MA MAX MA MC ME MECH ME MECH ME MEZZ ME MFR MA MH MA MIN MII MIR MI MIR MISC MIS MO MA MONO MO MTL ME MTD MO MTR MO MTL ME MTD MO MTR MO MTR MO MTR MO MTR NO MTR NO MTR NO MTR NO MTR NO MTR NO MTR NO MT NO NO NT NO NT ND NT NO NT ND NT NO NT ND NT NO NT ND NT ND	DDLE TERIAL XIMUM DICINE CABINET CHANICAL MBRANE ZZANINE NUFACTURER NUFACTURER NHOLE NIMUM RROR SCELLANEOUS SONRY OPENING DNOLITHIC TAL DUNTED DTOR JULION T APPLICABLE T IN CONTRACT MBER MINAL JISE REDUCTION COEFFICIENT TE T T O SCALE I CENTER FICE ERHEAD ERATOR ENING POSITE ERFLOW ROOF DRAIN	PLPLATPLPROFPLAMPLASPLBGPLUNPLWPLWPNLPANEPRPAIRPRELIMPRELPRIMPRIMPROJPROJPTPAIN'PVCPOLYQTQUAFRRADIIRBRESIIRDROOFREFREFEREFREFEREFREFEREFREFERETRETAREVREVISRHROOFRLRAINRMROOFROROUT	AST CONCRETE E PERTY LINE TIC LAMINATE IBING (OOD L IMINARY ARY ECTION F VINYL CHLORIDE RRY TILE JS R LIENT BASE F DRAIN SSED RENCE IGERATOR FORCE/-ED/-ING JIRED INING SE F HATCH LEADER	SCHEDSCHEDSDSMOKESECTSECTIONSFSQUARSHSHOWESHTSHEETSHTGSHEATISIMSIMILAISMSURFASOGSLAB CSPSTANDSPECSPECIFSQSQUARSQSQUARSSSTAINLSTSTREESTCSOUNDCOEFFSTNSTNSTORASTRUCTSTORASTRUCTSTORA	E DAMPER DN E FOOT ER HING R CE MOUNTED DN GRADE PIPE TICATIONS E STRUCTURE VISOR NDED 1	T TOP T&B TOP TDR TREM TEL TELE TEMP TEMP TG TONO THRES THRE TO TOP TOW TOP TOW TOP TPH TOILI TR TREA TRANSF TRANSFORME TS TUBE TV TELE TV TELE TYP TYPIC U URIN UC UNDE UG UNDE UH UNIT UNFIN UNFI UNO UNLE UTIL UTILI VENT VENT VEST VEST	AND BOTTOM NCH DRAIN EPHONE PERATURE GUE & GROOVE ESHOLD OF OF WALL ET PAPER HOLDER AD E SECTION EVISION CAL IAL ERCUT ERGROUND HEATER NISHED ESS NOTED OTHERWISE ITY TILATION TICAL TIBULE FH/WIDE E FLANGE	WDWOODWDWWINDONWHWALL HWHCHWHEELWHTRWATERWPWATERWSWEATHWSCTWAINSCWTWEIGHTWWWOOD	YDRANT CHAIR HEATER PROOF ERSTRIP OT	CONDITIONAL UNDER FUL AND LIMITED TO CONST PROJECT INDICATED. AND ANY D COVERE COPYRIC PROJECTS IS USE OR REPRIC PROJECTS IS USE OR REPRIC DE INFORMATION IN USE OR REPR	GHTS OF USE ARE LAND ARE GRANTED LL COMPENSATION D TO A ONE-TIME USE TRUCT A SINGLE 'ON THE SITE SO USE OF THE WORK ED UNDER THIS GHT FOR OTHER S PROHIBITED THE ODUCTION OF PERMIT FION IS STRICTLY D WITHOUT PRIOR REMISSION OF JDLAI. Date Date evisions CTOBER 2018 /4" = 1'-0" 2702

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WORK NOT SIMILAR TO THAT SH ALL SECTION PLAN OR SECTION S G14. CONTRACT WRITTEN CONSENT AND SPECIFICATION G15. ALL DIMEN & PARTY WALLS., IN U.N.O. G16. TYPICAL IN G17. PROVIDE V WET LOCATIONS. G18. OWNER / T TELEPHON G19. ALLOW OW INSTALLING GYPSUI G20. G.C. TO CO MATERIALS. G21. THE CONTI REPORT ANY DISCR G22. FIRE PROT ELECTRICAL WILL BI	YAY FOR REMOVAL AND BACK CI T INDICATED ON A PART OF THE HOWN AT CORRESPONDING PL/ ON, DETAILS, MATERIALS, METH SHALL APPLY TO ALL SIMILAR LO TOR SHALL MAKE NO DEVIATION FROM THE ARCHITECT. IN ANY NS, THE MOST RIGID REQUIR ISIONS ARE TAKEN FROM EXTER ITERIOR FACE OF STUD AND CE NATER RESISTANT GYPSUM THE VATER RESISTANT GYPSUM THE VATER RESISTANT GYPSUM THE FENANT MUST REVIEW & SIGN O IE, AND DATA RECEPTACLES PR VNER / TENANT TO REVIEW CON M TO ALL PARTITIONS. DORDINATE WITH OWNER / TEN/ RACTOR SHALL VERIFY ALL DIM REPANCIES TO THE ARCHITECT TECTION, HEATING, VENTILATION E PREPARED BY THE GENERAL E OF OPENINGS FOR VENTS,	ACCEPTANCE UNLESS IS. WORK, THE GENERAL O UP SERVICE FOR 1 OWNER). DURING COI D CLEAN CONDITION, O OF EACH WORK DAY, CLEANED TO THE EBRIS ARE NOT REMOV HARGE THE CONTRAC E DRAWINGS, BUT REAS ACES SHALL BI 10DS ETC. SHOWN ANE OCATIONS UNLESS INS FROM THE DESIGN CASE OF CONFLIC REMENTS SHALL GOVEF RIOR FACE OF PARTITI ENTER LINE OF ED ON THE DRAWINGS. ROUGHOUT BATHROOD OFF ON LOCATIONS OF RIOR TO INSTALLATION INSTRUCTION AND APPF ANT REGARDING FINIS MENSIONS AND CONDIT BEFORE PROCEE IN, PLUMBING, AIR CON CONTRACTOR, WHO	SPECIFIED OTHERWISE FOR CONTRACTOR SHALL ALL CONSTRUCTION DEBRIS NSTRUCTION ACTIVITIES, ALL CONDUCIVE TO SAFETY CONTRACTOR SHALL LEAVE EXTENT RESPECTIVE OF THE VED THE OWNER MAY (AT TOR. SONABLY IMPLIED TO BE E REPEATED. D/ OR NOTED ON ANY OTHERWISE NOTED. DRAWINGS WITHOUT T BETWEEN NOTES, DETAILS, RN. ON ALONG EXTERIOR STUD ON INTERIOR WALLS, MS AND ANY OTHER ELECTRICAL, ROVE ALL WORK PRIOR TO H COLORS OF ALL HONS AT THE SITE AND DING WITH THE WORK. DITIONING AND SHALL COORDINATE THE SERTS, BOXES, HANGERS,	AS REQUIRE DIRECTION O CONTRACTO G24. IT I FAS CO G25. ALL OR 5/8" CEM REPRESENT ALL FAS PAINT, TILE, G26. <u>STO</u> STORAGE SI THEFT. G27. <u>PRI</u> FROM DAMA G28. <u>TEI</u> TELEPHONE CONTRACTO THIS RO G29. THI SANITARY PL CONTRACTO SHOWN IN D FIELD CO AND APPROV G30. SHI OWNER / TEL APPROVAL F G31. <u>DAI</u> BUILDING, W DUE TO CON BLEND TO G32. THI	E GENERAL CONTRACTOR SHALL SAF D. THIS WORK SHALL BE THE FULL RI DR REVIEW OF ANY SYSTEM OR DR OF THIS RESPONSIBILITY. S NOT INTENT OF THESE DRAWINGS STENING OR FRAMING TECHNIQUES / NDITIONS PRESENT. . GYPSUM BOARDS TO BE 5/8" TYPE " ENT BOARD. FINISH AND TEXTURE TO ATIVE. MATERIAL AS MANUFACTL STENER LOCATIONS (CEMENT ACCES WOOD, TRIM, VINYL WALL COVERING DRAGE: THE CONTRACTOR SHALL PR PACE AS REQUIERD TO KEEP MATERI OTECTION: THE CONTRACTOR SHALL GE DURING CONSTRUCTION. MPORARY SERVICES: THE CONTRCAT , AND ELECTRICITY) AS AGREED UPO DR WILL TURN OVER THESE SERV JECT. E CONTRACTOR SHALL VERIFY THE L PING, STORM DRAINS, GAS AND WAT XR SHALL VERIFY INVERTS OF SAI RWAING SCOPE OF WORK. AN NDITIONS SHALL BE REPORTED TO T VALS MUST BE OBTAINED FROM PRO OP DRAWING SUBMITTALS: ALL TRAD NANT REPRESENTATIVE TO PASS ALC PRIOR TO FABRICATION AS NEEDED. MAGE: THE GENERAL CONTRACTOR I ALLS, CEILINGS, FLOORS, FURNITUR ISTRUCTION, TO BE PATCHED, R MATCH ADJACENT SURFACES AND MATCH ADJACENT SURFACES AND INSTF	ESPONSIBILITY OF THE CONT METHOD BY THE ARCHITECT TO SHOW NOR INDICATE ANY DEVICES NOR BE ABLE TO SI X' FIRE CODE, 5/8" MOISTURE D BE SELECTED BY THE OWN IRED BY US GYPSUM OR EQU SSORIES AND TAPE OR SKIM O G, PANELING, ETC. COVIDE ON SITE WEATHER IALS DRY FROM EATH PROTECT ALL PUBLIC AND FOR SHALL PAY FOR EXISTING N WITH TE OWNER AN /ICES TO THE OWNER UPON F OCATION AND ACTUAL DEPTH TER MAINS, ELECTRICAL L NITARY AND STORM LINES AS Y DISCREPANCIES IN THESE F HE ARCHITECT. 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THE GENE TO OUTLINE PHASI G41. ALL WOOD PLYWOOD BETWEE G42. ALL PIPINI WALL. NO EXPOSED OUTSIDE OF RECIE G43. HOT WOR GLOBAL REGULATI G44. ELECTRIC LOCATIONS WITH C	ONS #4-1. EXISTING SEWER LII ALL RESTOOM LOCATIONS <u>SILING PANELS (ACT):</u> LAY IN CE RID. FURNISH ALL MATERIALS OVIDE NEW ARMSTRONG ACOUN <u>CERAMIC TILE / VINYL COMPO</u> NER / TENANT AND INSTALLED <u>R HEAD LOCATIONS:</u> REFER T S AND NFPA STANDARDS. SPE SUBMITTED FOR APPROVAL PR E SPRINKLER HEAD INS ARCHITECT OF ANY CONFLICT ERAL CONTRACTOR SHALL CO NTS, PIPES, INSERTS, BOXES, RIOR FINISHES AND FURNISHIN AME SPREAD RATING OF 0-25. AMPLES OF ALL PAINTS AND S RIOR TO APPLICATION. ERAL CONTRACTOR TO MEET N NG AND CONSTRUCTION SCHE D BLOCKING TO BE PRESSURE EN STUDS, OR 20ga. 6" WIDE FL G, CONDUIT, BX CABLE AND SI D CONDUIT PERMITTED UNLES EVING AREA. EX SAFTEY PRECAUTIONS ARE ONS AS A GUIDELINE. CIAN TO COORDINATE ALL A/V, DWNER.	ONLY. EILING PANELS TO BE 24"x24" LAY REQUIRED (U.N.O.) 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		SYMBOL L	EGEND										FETC	GEORG
SMOKE DETECTOR	Š	WALL MOUNTED ILLUMINATED EXIT SIGN w/ DIRECTION	Ŷ	SPECIAL RECEPTACLE	Φ	DUPLEX RECEPTACLE		REVISION CLOUD & NUMBER	???	BUILDING SECTION NUMBER AND SHEET		EXISTING WALLS	DRG RE	NL ST.
HEAT DETECTOR	~_	EMERGENCY LIGHT	\bigtriangledown	TELEPHONE / DATA	\oplus_{ex}	EXISTING RECEPTACLE	FD 😞	FLOOR DRAIN	A200 X	BUILDING ELEVATION MAF ELEVATION# / SHEET#	к	WALLS TO BE DEMOLISHED		CENTRA
CARBON MONOXIDE DETECTOR	400	EMERGENCY LIGHT w/ ILLUMINATED SIGN	- Vex	TELEPHONE / DATA EXISTING	ŢN IT	RECEPTACLE TO BE REMOVED	O RL	RAIN WATER LEADER	A A700	DETAIL / SECTION MARK SECTION # / SHEET #		NEW WALLS		65
SPRINKLER HEAD	F	FIRE ALARM PULL STATION	~~~	TELEPHONE / DATA TO BE REMOVED	•	QUAD RECEPTACLE		CONCRETE BLOCK	A700 X	INTERIOR ELEVATIONS SHEET# / ELEV.#	EX	EXISTING DOOR TO REMAIN		
2'x4' FLORESCENT LIGHT FIXTURE	F	FIRE ALARM PULL STATION w/ HORN	Ť	THERMOSTAT	P	DUPLEX RECEPTACLE w/ ONE CONTROLLED BY SWITCH		BRICK	?	REFER TO SHEET A700 FOR ASSEMBLY TYPE		DOORS TO BE DEMOLISHED	— М ОС ОС ОС ОС ОС	
2'x2' FLORESCENT LIGHT FIXTURE	F	FIRE ALARM PULL STATION w/ HORN & STROBE		ELECTRIC PANEL	P	DUPLEX RECEPTACLE ON EMERGENCY BRANCH	•	SPOT ELEVATION	?	ROOM NAME AND NUMBER		DOOR & DOOR NUMBER		
8' INDIRECT LINEAR PENDANT		FIRE ALARM HORN & STROBE		CEILING MOUNTED ILLUMINATED EXIT SIGN	•	208v RECEPTACLE	\$	LIGHT SWITCH	A	- COLUMN LINE	EX EX	EXISTING WINDOW TO REMAIN		
6" RECESSED LIGHT FIXTURE	<u> </u>	FIRE ALARM STROBE	$\overline{\mathbf{x}}$	CEILING MOUNTED ILLUMINATED EXIT SIGN w/ DIRECTION	GFI	GROUND FAULT RECEPTACLE	\$ ₃	3-WAY SWITCH		SOFFIT / CEILING CHANGE OR CABINETS ABOVE		WINDOW TO BE DEMOLISHED		
6" RECESSED WALL WASH LIGHT FIXTURE	•	FIRE ALARM REMOTE INDICATOR		WALL MOUNTED ILLUMINATED EXIT SIGN	⊕ ^{wp}	WATERPROOF RECEPTACLE	\$ _D	LIGHT SWITCH w/ DIMMER		ENLARGED PLAN		WINDOW & WINDOW NUMBER	prepared for location: Ap title	
FIRE ALARM FACE BRICK FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FIXTURE FLOOR FLASHING FLEXIBLE FLUORESCENT FACE OF FACE	HDR HEAI HDW HAR HGT HEIG HM HOLL HORI HOR HP HIGF HR HAN HT HEIG HTR HEA HVAC HEA & AIF HW HOT HWD HAR IC INTE ID INSIL IN INCF INSUL INSU IN INCF INSUL INSU INT INTE JAN JANI JB JUNO JST JOIS JT JOIN L LONO LAV LAVA LBS POU LIN LINE LOC LOCA	DICAP DER DWARE GHT LOW METAL NZONTAL + POINT DRAIL GRAIL GRAIL DRAIL CONDITIONING WATER DWOOD ERCOM DE DIAMETER H JLATION ERIOR TOR CTION BOX ST IT G ATORY INDS (WIEGHT) CAR ATION OR LOCATE (POINT HTING	MATL MAX MC MECH MEMB MEZZ MFR MH MIN MIR MISC MO MONO MTL MTD MTR MULL NA NIC NO NOM NRC NT NTS OC OD OFF OH OPER OPNG OPP	MIDDLE MATERIAL MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MONOLITHIC METAL MOUNTED MOTOR MULLION NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOTE NOT TO SCALE ON CENTER OUTSIDE DIAMETER OFFICE OVERHEAD OPENING OPPOSITE OVERFLOW ROOF DRAIN	PART PC PL PL PLAM PLBG PLW PNL PR PRELIM PROJ PT PVC QT R R R RD REC REF REF REF REF REF REF REF REF REF REF	PARTITION PRECAST CONCRETE PLATE PROPERTY LINE PLASTIC LAMINATE PLUMBING PLYWOOD PANEL PAIR PRELIMINARY PROJECTION PAINT POLYVINYL CHLORIDE QUARRY TILE RADIUS RISER RESILIENT BASE ROOF DRAIN RECESSED REFERENCE REFRIGERATOR REINFORCE/-ED/-ING REQUIRED RETAINING REVISE ROOF HATCH RAIN LEADER ROOM ROUGH OPENING ROUGH SLAB	SCHEDSCHESDSMOKSECTSECTSFSQUASHSHOWSHTSHEESHTGSHEASIMSIMILISMSURF.SOGSLABSPSTANSPECSPECSQSQUASQ YDSQUASTSTREISTCSOUNCOEFSTANSTLSTEEISTNSTORSTORSTORSTRUCTSTRUCTURALSTSSTEEISUPVSUSPSWSWITO	E DAMPER ON RE FOOT /ER T THING AR ACE MOUNTED ON GRADE DPIPE FICATIONS RE RE YARD LESS STEEL ET D TRANSMISSION FICIENT DARD - E AGE . STRUCTURE RVISOR ENDED	T TOP T&B TOP T&B TOP T&B TOP TDR TREN TEL TELE TEMP TEMF TG TONO THRES THRE TO TOP TOW TOP TOW TOP TPH TOILI TR TRANSF TRANSFORME TS TUBE TV TELE TV TTLE TV	AND BOTTOM NCH DRAIN PERATURE GUE & GROOVE ESHOLD OF OF WALL ET PAPER HOLDER AD R E SECTION EVISION CAL AL ERCUT ERGROUND HEATER NISHED ESS NOTED OTHERWISE ITY FILATION FICAL TIBULE TH/WIDE E FLANGE	WDWOODWDWWINDOWWHWALL HYWHCHWHEELCWHTRWATERFWPWATERFWSWEATHEWSCTWAINSCOWTWEIGHTWWWOOD W	YDRANT CHAIR HEATER PROOF ERSTRIP OT	JDLAI 2018 ALL PLANS, SPECIFICATIONS A IDEAS ARE THE PROPERTY O JDLAI. RIGHTS OF USE ARE CONDITIONAL AND ARE GRAN UNDER FULL COMPENSATIC AND LIMITED TO A ONE-TIME TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WOR COVERED UNDER THIS COPYRIGHT FOR OTHER CONSTRUCTION OF THE PROJECTS IS PROHIBITED. TI USE OR REPRODUCTION OF THE PROJECTS IS PROHIBITED. TI USE OR REPRODUCTION OF THE PROJECTS IS PROHIBITED. TI USE OR REPRODUCTION OF PERMIT APPLICATION IS STRUCTLY PROHIBITED WITHOUT PRIC WRITTEN PERMISSION OF JDI Mark Date Mark Date Revisions Date 16 OCTOBER 2014 Scale 1/4" = 1'-0" Job No. 2702 Sheet No. 300	AND OF TED NN USE RK KK HE HESE T PR AI. B B B

IS CONTRACT SHALL BE ON THE DRAWINGS AND ID MATERIALS NECCESSARY FOR PECT THE WORK OF OTHER AIR OR REPLACE ANY DAMAGE PLIANCE WITH THE THE CONTRACTOR SHALL GAINST ANY CLAIM OR LIABILITY A AMMENDMENTS AND MAAB 521 FOR THIS PROJECT. R SHALL COORDINATE THE DES WHETHER THEY RECIEVE CTOR. THE GENERAL ADES. RED PERMITS, MATERIALS USED OR SPECIFIED CALLATIONS AND APPLICATIONS IRADES SHALL INSTALL COMPLETE THIS WORK BY ORDINATE ALL ICAL, MECHANICAL, AND CTORS ARE REQUIRED TO THE SITE, FULLY INFORM PRIOR TO SUBMITTING THEIR G WITH THE EXISTING E SUCCESSFUL BIDDER THAT MAY BE REQUIRED TO SA AND SPECIFICATIONS AT NO IT OLET OTHER ED IN THE SPACE. THE REASONABLE OPPORTUNITY NECT AND COORDINATE HIS	 THE PREMISES AND SITE FREE OF INTENDED USE OF SAME. IF THEIR OPTION) PAY FOR REMOV G13. WORK NOT INDICATED ON SIMILAR TO THAT SHOWN AT CORR ALL SECTION, DETAILS, MAPLAN OR SECTION SHALL APPLY TO G14. CONTRACTOR SHALL MAK WRITTEN CONSENT FROM THE ARC AND SPECIFICATIONS, THE MOST G15. ALL DIMENSIONS ARE TAK & PARTY WALLS., INTERIOR FACE OUN.O. G16. TYPICAL INTERIOR PARTIT G17. PROVIDE WATER RESISTA WET LOCATIONS. G18. OWNER / TENANT MUST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G19. ALLOW OWNER / TENANT MIST RITELEPHONE, AND DATA RE G20. G.C. TO COORDINATE WITH MATERIALS. G21. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO T G22. FIRE PROTECTION, HEATIN ELECTRICAL WILL BE PREPARED BY LOCATION AND SIZE OF OPENINGS 	DATE OF FINAL ACCEPTANCE UNLE CERTAIN ITEMS. TO STARTTING WORK, THE GENER STER AND PICK-UP SERVICE FOR RDINATED WITH OWNER). DURING 'IVELY NEAT AND CLEAN CONDITION N COMPLETION OF EACH WORK D/ DEBRIS AND CLEANED TO TRASH AND DEBRIS ARE NOT RE (AL AND BACK CHARGE THE CONTI I A PART OF THE DRAWINGS, BUT I RESPONDING PLACES SHAIL ATERIALS, METHODS ETC. SHOWN O ALL SIMILAR LOCATIONS UNLE (SE NO DEVIATIONS FROM THE DES CHITECT. IN ANY CASE OF CON RIGID REQUIREMENTS SHALL GO (SEN FROM EXTERIOR FACE OF PAF OF STUD AND CENTER LINE OF TIONS ARE NOTED ON THE DRAWIN ANT GYPSUM THROUGHOUT BATHF (EVIEW & SIGN OFF ON LOCATIONS ECEPTACLES PRIOR TO INSTALLA) TO REVIEW CONSTRUCTION AND A ITIONS. 'H OWNER / TENANT REGARDING F	ESS SPECIFIED OTHERWISE FOR AL CONTRACTOR SHALL ALL CONSTRUCTION DEBRIS CONSTRUCTION ACTIVITIES, ALL DN, CONDUCIVE TO SAFETY AY, CONTRACTOR SHALL LEAVE THE EXTENT RESPECTIVE OF THE EMOVED THE OWNER MAY (AT RACTOR. REASONABLY IMPLIED TO BE LL BE REPEATED. AND / OR NOTED ON ANY ESS OTHERWISE NOTED. IGN DRAWINGS WITHOUT FLICT BETWEEN NOTES, DETAILS, OVERN. RTITION ALONG EXTERIOR STUD ON INTERIOR WALLS, NGS. ROOMS AND ANY OTHER G OF ELECTRICAL, TION. APPROVE ALL WORK PRIOR TO INISH COLORS OF ALL NDITIONS AT THE SITE AND CEEDING WITH THE WORK. CONDITIONING AND HO SHALL COORDINATE THE 5, INSERTS, BOXES, HANGERS,	AS REQUIRED DIRECTION OF CONTRACTOR G24. IT IS FAST CONI G25. ALL C OR 5/8" CEMEN REPRESENTA ALL FAST PAINT, TILE, W G26. STOF STORAGE SPA THEFT. G27. PROT FROM DAMAG G28. TEMF TELEPHONE, A CONTRACTOR THIS ROJE G29. THE OSANITARY PIP CONTRACTOR THIS ROJE G29. THE OSANITARY PIP CONTRACTOR SHOWN IN DRY FIELD CONI AND APPROVA G30. SHOF OWNER / TENA APPROVAL PR G31. DAMA DUE TO CONS BLEND TO G32. THE O	GENERAL CONTRACTOR SHALL SAF THIS WORK SHALL BE THE FULL RE REVIEW OF ANY SYSTEM OR I OF THIS RESPONSIBILITY. NOT INTENT OF THESE DRAWINGS T TENING OR FRAMING TECHNIQUES / DITIONS PRESENT. GYPSUM BOARDS TO BE 5/8" TYPE 'X WT BOARD. FINISH AND TEXTURE TO TIVE. MATERIAL AS MANUFACTUI TENER LOCATIONS (CEMENT ACCESS /OOD, TRIM, VINYL WALL COVERING, <u>RAGE:</u> THE CONTRACTOR SHALL PRE ACCE AS REQUIERD TO KEEP MATERIA <u>TECTION:</u> THE CONTRACTOR SHALL PRE ACCE AS REQUIERD TO KEEP MATERIA <u>TECTION:</u> THE CONTRACTOR SHALL E DURING CONSTRUCTION. <u>PORARY SERVICES:</u> THE CONTRCAT AND ELECTRICITY) AS AGREED UPOR WILL TURN OVER THESE SERV CT. CONTRACTOR SHALL VERIFY THE LC ING, STORM DRAINS, GAS AND WATH SHALL VERIFY INVERTS OF SAN WAING SCOPE OF WORK. ANY DITIONS SHALL BE REPORTED TO THALS MUST BE OBTAINED FROM PROF P DRAWING SUBMITTALS: ALL TRADE ANT REPRESENTATIVE TO PASS ALC HOR TO FABRICATION AS NEEDED. AGE: THE GENERAL CONTRACTOR IS LLS, CEILINGS, FLOORS, FURNITURE TRUCTION, TO BE PATCHED, RE MATCH ADJACENT SURFACES A GENERAL CONTRACTOR SHALL PRE (D) ALL WARRANTIES AND INSTR ID MATERIALS INSTALLED. K TO BE ISSUED TO OWNER / TENAN	SPONSIBILITY OF THE CONT METHOD BY THE ARCHITECT TO SHOW NOR INDICATE ANY DEVICES NOR BE ABLE TO S S FIRE CODE, 5/8" MOISTURE BE SELECTED BY THE OWN RED BY US GYPSUM OR EQU SORIES AND TAPE OR SKIM O PANELING, ETC. DVIDE ON SITE WEATHER ALS DRY FROM EATH PROTECT ALL PUBLIC AND OR SHALL PAY FOR EXISTING WITH TE OWNER AN ICES TO THE OWNER UPON F DCATION AND ACTUAL DEPTH ER MAINS, ELECTRICAL L IITARY AND STORM LINES AS OD DISCREPANCIES IN THESE F HE ARCHITECT. ALL NECCESS PER AUTHORITIES HAVI S TO SUBMIT SHOP DRAWIN ING TO THE ARCHITECT / 11 S RESPONSIBLE FOR ANY DA E AND FURNISHINGS EPAIRED AND / OR REPLACED IT NO ADDITIONAL COST TO PARE A BOOK / BINDER CON JSED ON JOB WITH NAMES, TION - PHONE AND E-MAIL; UCTION MANUALS FOR EQUI	RACTOR AND NO0 ACT, SHALL RELIEVE THE (OR ALL HOW ALL RESISTANT TYPE X, NER / TENANT IAL. FINISH ALL JOINTS, COAT) FOR ROTECTED HER AND SAFE FROM ADJACENT AREAS G SERVICES (WATER, ND REQUIERD BY WORK, FINAL ACCEPTANCE OF H OF ALL EXISTING LINES, AND PIPES. S REQUIERD BY WORK PLANS AND ACTUAL SARY PERMITS ING JURISDICTION. NGS TO THE ENGINEER FOR MAGE TO THE S. DAMAGED SURFACES, D AS REQUIRED TO THE OWNER / TENANT. ITAINING: PMENT	ARMY SPECIFICAT IS COMPLETED IN G34. LAY IN CI WITH MATCHING C INSTALLATION. PR EQUAL. G35. CARPET SELECTED BY OW G36. SPRINKL DRAWINGS SHOP DRAWINGS DRAWINGS. WHER TILE. NOTIFY G37. THE GEN OPENINGS FOR VE G38. ALL INTE CLASS 1 WITH A FI G39. SUBMIT S FOR APPROVAL PI G40. THE GEN TO OUTLINE PHAS G41. ALL WOO PLYWOOD BETWE G42. ALL PIPIN WALL. NO EXPOSE OUTSIDE OF RECI G43. HOT WOI GLOBAL REGULAT G44. ELECTRI- LOCATIONS WITH G45. ELECTRI-	TIONS #4-1. EXISTING SEWER LINE ALL RESTOOM LOCATIONS OF EILING PANELS (ACT): LAY IN CEIL GRID. FURNISH ALL MATERIALS RE ROVIDE NEW ARMSTRONG ACOUS //CERAMIC TILE / VINYL COMPOSI /NER / TENANT AND INSTALLED BY ER HEAD LOCATIONS: REFER TO GS AND NFPA STANDARDS. SPRIN SUBMITTED FOR APPROVAL PRICE RESPRINKLER HEAD INST/ ARCHITECT OF ANY CONFLICTS. NERAL CONTRACTOR SHALL COOF ENTS, PIPES, INSERTS, BOXES, H/ RIOR FINISHES AND FURNISHING LAME SPREAD RATING OF 0-25. SAMPLES OF ALL PAINTS AND ST/ RIOR TO APPLICATION. NERAL CONTRACTOR TO MEET WI SING AND CONSTRUCTION SCHED DD BLOCKING TO BE PRESSURE T EEN STUDS, OR 20ga. 6" WIDE FLAT NG, CONDUIT, BX CABLE AND SIMI ED CONDUIT PERMITTED UNLESS EVING AREA. RK SAFTEY PRECAUTIONS ARE EN TIONS AS A GUIDELINE. CIAN TO COORDINATE ALL A/V, RE OWNER.	NLY. ING PANELS TO BE 24"x24" LAY IN TILES EQUIRED (U.N.O.) FOR A COMPLETE TICAL CEILING TILE AND 9/16" GRID, OR TION TILE (VCT): FLOORING MATERIALS TO BE C GENERAL CONTRACTOR. DESIGN / BUILD FIRE PROTECTION IKLER HEADS TO BE LOCATED PER CODE AND PR TO INSTALLATION. SEE FIREPROTECTION ALLED IN TILE, SHALL BE LOCATED AT CENTER OF RDINATE THE LOCATION AND SIZE OF ANGERS, ETC. S FRO CEILINGS, WALL, AND FLOORS SHALL BE AINS TO THE OWNER / TENANT REPRESENTATIVE TH THE OWNER / TENANT REPRESENTATIVE ULING. REATED, FIRE RETARDANT 2x OR 3/4" T STOCK. LAR CONSTRUCTION WILL BE LOCATED INSIDE A APPROVED BY THE OWNER REPRESENTATIVE NFORCED DURING CONSTRUCTION. USE FM ECEPTACLE, CABLE, TELE/DATA AND SWITCH O BACK RECPTACLES, TELE/DATA, ETC.	FOWN DECARASSE JL Ender States JL Ender States ORGETOWN, MA Engineers - Intriors - Land Planning ORGETOWN, MA Engineers - Intriors - Land Planning
	SY	MBOL LEGEND									☐ TA @
SMOKE DETECTOR	WALL MOUN ILLUMINATEI w/ DIRECTIO	D EXIT SIGN	SPECIAL RECEPTACLE	φ	DUPLEX RECEPTACLE		REVISION CLOUD & NUMBER	??	BUILDING SECTION NUMBER AND SHEET	EXISTING WALLS	RE RE
HEAT DETECTOR	EMERGENCY	Y LIGHT	TELEPHONE / DATA	(Hex)	EXISTING RECEPTACLE	FD 😞	FLOOR DRAIN	A200 X	BUILDING ELEVATION MARK ELEVATION# / SHEET#	WALLS TO BE 	
CARBON MONOXIDE DETECTOR			TELEPHONE / DATA EXISTING	Ţ.	RECEPTACLE TO BE REMOVED	O RL	RAIN WATER LEADER	A A700	DETAIL / SECTION MARK SECTION # / SHEET #	NEW WALLS	
- SPRINKLER HEAD	F FIRE ALARM		TELEPHONE / DATA TO BE REMOVED	•	QUAD RECEPTACLE		CONCRETE BLOCK	A700 X	INTERIOR ELEVATIONS SHEET# / ELEV.#	EX EXISTING DOOR TO REMAIN	ళ
2'x4' FLORESCENT LIGHT FIXTURE	F F FIRE ALARM		THERMOSTAT	φ	DUPLEX RECEPTACLE w/ ONE CONTROLLED BY SWITCH		BRICK	?	REFER TO SHEET A700 FOR ASSEMBLY TYPE	DOORS TO BE DEMOLISHED	
2'x2' FLORESCENT LIGHT FIXTURE	FIRE ALARM PULL STATIC & STROBE		ELECTRIC PANEL	Ŷ	DUPLEX RECEPTACLE ON EMERGENCY BRANCH	•	SPOT ELEVATION	?	ROOM NAME AND NUMBER	? DOOR & DOOR NUMBER	
8' INDIRECT LINEAR PENDANT	FIRE ALARM HORN & STR		CEILING MOUNTED ILLUMINATED EXIT SIGN	•	208v RECEPTACLE	\$	LIGHT SWITCH	(A)	- COLUMN LINE		
6" RECESSED LIGHT FIXTURE	FIRE ALARM STROBE		CEILING MOUNTED ILLUMINATED EXIT SIGN w/ DIRECTION	₽ ^{GFI}	GROUND FAULT RECEPTACLE	\$ ₃	3-WAY SWITCH		SOFFIT / CEILING CHANGE OR CABINETS ABOVE		OIT: CPIFL Approver Approver
6" RECESSED WALL WASH LIGHT FIXTURE	● FIRE ALARM REMOTE IND		WALL MOUNTED ILLUMINATED EXIT SIGN	⊕ ^{wp}	WATERPROOF RECEPTACLE	\$	LIGHT SWITCH w/ DIMMER		ENLARGED PLAN	? WINDOW & WINDOW NUMBER	prepared f location:
FIRE ALARM	HDCP HANDICAP	ABBREVIATIONS	MIDDLE	PART F	PARTITION	e	SUPPLY FAN		IPERED	WC WALL COVERING	ALL PLANS, SPECIFICATIONS AND IDEAS ARE THE PROPERTY OF JDLAL RIGHTS OF USE ARE
FIRE ALARM FACE BRICK FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FINISH FIXTURE FLOOR FLASHING FLEXIBLE FLUORESCENT FACE OF FACE OF STUD FIRE PROOFING FOOT/FEET FOOTING FUTURE GAUGE GALVANIZED GRAB BAR GENERAL CONTRACTOR GENERAL GLASS GRADE GYPSUM WALL BOARD HEIGHT/HIGH HOSE BIB HAND DRYER	HDCPHANDICAPHDRHEADERHDWHARDWAREHGTHEIGHTHMHOLLOW METALHORIHORIZONTALHPHIGH POINTHRHANDRAILHTHEIGHTHTRHEATERHVACHEATING, VENTILAT& AIR CONDITIONINGHWHOT WATERHWDHARDWOODICINTERCOMIDINSIDE DIAMETERININCHINSULINSULATIONINTINTERIORJANJANITORJBJUNCTION BOXJSTJOISTJTJOINTLLONGLAVLAVATORYLBSPOUNDS (WIEGHT)LINLINEARLOCLOCATION OR LOCALPLOW POINTLTGLIGHTINGLVRLOUVER	G MISC MO MONO MTL MTD MTR MULL NA NIC NO NOM NRC NT NTS OC OD OFF	MIDDLE MATERIAL MAXIMUM MEDICINE CABINET MECHANICAL MEMBRANE MEZZANINE MANUFACTURER MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MONOLITHIC METAL MOUNTED MOTOR MULLION NOT APPLICABLE NOT IN CONTRACT NUMBER NOMINAL NOISE REDUCTION COEFFICIENT NOTE NOT TO SCALE ON CENTER OUTSIDE DIAMETER OFFICE OVERHEAD OPERATOR OPENING OPPOSITE OVERFLOW ROOF DRAIN	PCFPLFPLAMFPLBGFPLWFPNLFPRFPRELIMFPROJFPVCFQTCQTCRFREFFREFFREFFRETFREVFRETFREVFRHFRMFRMF	PARTITION PRECAST CONCRETE PLATE PROPERTY LINE PLASTIC LAMINATE PLUMBING PLYWOOD PANEL PAIR PRELIMINARY PROJECTION PAINT POLYVINYL CHLORIDE QUARRY TILE RADIUS RISER RESILIENT BASE ROOF DRAIN RECESSED REFERENCE REFRIGERATOR REINFORCE/-ED/-ING REQUIRED RETAINING REVISE ROOF HATCH RAIN LEADER ROOM ROUGH OPENING ROUGH SLAB	SCHEDSCHESDSMOKSECTSECTSFSQUASHSHOWSHTSHEESHTGSHEASIMSIMILSMSURFSOGSLABSPSTANSPECSPECSQSQUASQ YDSQUASTCSOUNCOEFSTANSTLSTEEISTNSTORSTORSTORSTRUCTSTRUCT URALSTSSTEEISUPVSUSPSWSWITO	DULE KE DAMPER ION RE FOOT VER T THING AR ACE MOUNTED ON GRADE DPIPE IFICATIONS RE RE YARD ILESS STEEL ET ID TRANSMISSION FICIENT DARD L IE KAGE	T TOP T&B TOP TDR TRE TEL TEL TEMP TEW TG TON THRES THR TO TOP TOW TOP TPH TOIL TR TRE TRANSF TRANSFORM TS TUB TV TEL TYP TYP U URI UC UNE UG UNE UG UNE UG UNE UH UNI UNFIN UNF UNO UNL UTIL UTIL VENT VEN VERT VES W WID W WID W WID W/ WIT	AND BOTTOM AND BOTTOM ENCH DRAIN EPHONE MPERATURE NGUE & GROOVE RESHOLD P OF OF WALL LET PAPER HOLDER AD ER BE SECTION EVISION PICAL NAL DERCUT DERGROUND T HEATER FINISHED LESS NOTED OTHERWISE LITY MILATION RTICAL STIBULE DTH/WIDE DE FLANGE	WCWALL COVERINGWDWOODWDWWINDOWWHWALL HYDRANTWHCHWHEELCHAIRWHTRWATER HEATERWPWATERPROOFWSWEATHERSTRIPWSCTWAINSCOTWTWEIGHTWWWOOD WINDOWWWFWELDED WIRE FABRIC	CONDITIONAL AND ARE GRANTED UNDER FULL COMPENSATION AND LIMITED TO A ONE-TIME USE TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WORK AND ANY DERIVATIVE WORK COVERED UNDER THIS COPYRIGHT FOR OTHER PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR ANY OTHER CONSTRUCTION OR PERMIT APPLICATION IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF JDLAI. Mark Date Revisions Date 16 OCTOBER 2018 Scale 1/4" = 1'-0" Job No. 2702 Sheet No. GGOOQ2

SPECIFICATION:

	lequirements	
1. 2	Contractor's Use of Premises: rear parking lot of site to be used for temporary storage	ed at all times. and deliveries.
3 4	access for vehicles leaving pharmacy drive through Reference Drawings and Reports: Refer to Drawing Set and Specification dated 2018_ CVS Tenant Building Requirements and access to mechanical space within CVS tenant ted with tenant; security and access plan to be stipulated in writing prior to the commer	XX -XX space to be ncement of work.
Contracti 1. 2.	ng Requirements: Owner's Instructions For Bidding: AIA G612, issued separately Owner-Contractor Agreement – AIA A101, issued separately	
3. ntent:	Conditions of Contract – AIA A201, issued separately.	
2. performa	Drawings and specifications are intended to provide the basis for the proper completion for the intended use of the Owner. Items not expressly set forth but which are reasonably implied or necessary for the nce of this work shall be included.	of the Project proper
3.	tion: Coordinate the work of all trades. Prepare coordination drawings for areas above ceilings where close tolerances are elements and mechanical and electrical work. Verify location of utilities and existing conditions. Notify Architect of conditions differing on the Drawings.	required betweer from those
1.	Verify dimensions on Drawings with dimensions at the Project. Do not scale Drawings. nd Patching:	
1. 2. 3. 4. 5.	Provide cutting and patching work to properly complete the Project. Do not remove or alter structural components without written approval. Cut with tools appropriate for materials to be cut. Patch with materials and methods to produce patch which is not visible from a distance Do not cut and patch in a manner that would result in a failure of the work to perform as	of five feet. intended.
decrease ife, or de	fire performance, decrease acoustical performance, decrease energy performance, decre ecrease safety factors.	,
Field Eng 1. 2.	jineering: Verify and locate utilities, existing facilities, and equipment. Survey and layout improvements, utilities, structures, and components.	
Project M 1.	Arrange for a preconstruction conference prior to start of construction. Meeting shall be	attended by
2.	Architect, Contractor, and major subcontractors. Arrange for progress meetings once a month during construction, prior to application for ninutes and distribute promptly.	payment.
	etails of construction and adjacent construction as applicable. For physical samples, submit samples. For submittals which require larger paper size for proper review, submit 3 printed Timing of Submittals: Submit to allow at least 10 business days for review and handling.	copies.
B. lave to b landling. teturn to The Cont mitation, fif the Co of his res b. s noted, b. rints or of rom the s	samples. For submittals which require larger paper size for proper review, submit 3 printed Timing of Submittals: Submit to allow at least 10 business days for review and handling. The reviewed by the Architect and one of his consultants require at least 20 business days Add ten business days for each additional consultant who must review a submissio Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", Contractor. Architect will review submittals only for conformance with the design con- tractor is responsible for confirming compliance with other Contract requirements, inclu , performance requirements, field dimensions, fabrication methods, means, methods, t sequences and procedures of construction, coordination with other work. The Architect's of submittals shall be held to the limitations stated in the Owner/Architect Agreement an intract. In no case shall approval or acceptance by the Architect be interpreted as a rele- ponsibilities to fulfill all of the requirements of the Contract Documents. Required Resubmittal: Unless submittal is noted "reviewed and approved" or "reviewed and , resubmission not required," make corrections or changes to original and resubmit to Archite Distribution: When submittal is noted "approved" or "approved as noted, resubmittal not copies and distribute to Owner, Subcontractors involved, and to all other parties requires submittal for performance or coordination of related work. Print shop drawings for dis	copies. Submittals which ays for review and n. mark action, and cept of the project ding without echniques, review and nd the Conditions ease of Contracto approved except ect. required," make uiring information
3. have to b handling. 4. return to The Cont imitation, approval of the Co of his res 5. as noted, 5. orints or of from the the final a 7. irom requ Request	samples. For submittals which require larger paper size for proper review, submit 3 printed Timing of Submittals: Submit to allow at least 10 business days for review and handling. be reviewed by the Architect and one of his consultants require at least 20 business day Add ten business days for each additional consultant who must review a submissio Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", Contractor. Architect will review submittals only for conformance with the design com- tractor is responsible for confirming compliance with other Contract requirements, inclu , performance requirements, field dimensions, fabrication methods, means, methods, t sequences and procedures of construction, coordination with other work. The Architect's of submittals shall be held to the limitations stated in the Owner/Architect Agreement at intract. In no case shall approval or acceptance by the Architect be interpreted as a rele- ponsibilities to fulfill all of the requirements of the Contract Documents. Required Resubmittal: Unless submittal is noted "reviewed and approved" or "reviewed and , resubmission not required," make corrections or changes to original and resubmit to Archit Distribution: When submittal is noted "approved" or "approved as noted, resubmittal not copies and distribute to Owner, Subcontractors involved, and to all other parties requires submittal for performance or coordination of related work. Print shop drawings for dis approved reproducible. Include details of construction and adjacent construction in shop drawings. Clearly indicate uirements of the contract documents. Fabricate materials from approved shop drawings only. For Interpretation (RFIs):	copies. Submittals which ays for review and n. mark action, and cept of the project ding without echniques, review and nd the Conditions ease of Contractor approved except ect. required," make uiring information tribution only from any deviations
3. have to b handling. 4. return to Fhe Cont imitation, approval of the Co of his res 5. as noted, 5. prints or of rom the si he final a 7. rom requ Request 1. possible fi 2. no respon	samples. For submittals which require larger paper size for proper review, submit 3 printed Timing of Submittals: Submit to allow at least 10 business days for review and handling. The reviewed by the Architect and one of his consultants require at least 20 business days Add ten business days for each additional consultant who must review a submission Architect's Action on Submittals: Architect will review submittals, stamp with "action stamp", Contractor. Architect will review submittals only for conformance with the design com- tractor is responsible for confirming compliance with other Contract requirements, inclu , performance requirements, field dimensions, fabrication methods, means, methods, t sequences and procedures of construction, coordination with other work. The Architect's of submittals shall be held to the limitations stated in the Owner/Architect Agreement an intract. In no case shall approval or acceptance by the Architect be interpreted as a rele- ponsibilities to fulfill all of the requirements of the Contract Documents. Required Resubmittal: Unless submittal is noted "reviewed and approved" or "reviewed and , resubmission not required," make corrections or changes to original and resubmit to Archit Distribution: When submittal is noted "approved" or "approved as noted, resubmittal not copies and distribute to Owner, Subcontractors involved, and to all other parties requirements of the contract documents. Fabricate materials from approved shop drawings only. For Interpretation (RFIs): Procedure: Immediately on discovery of the need for interpretation of the Contract Documer to request interpretation at Project meeting, prepare and submit an RFI in the form spe RFIs shall originate with Contractor. RFIs submitted by entities other than Contractor will nse.	copies. Submittals which ays for review and n. mark action, and cept of the project ding without echniques, review and nd the Conditions ease of Contractor approved except ect. required," make uiring information tribution only from any deviations
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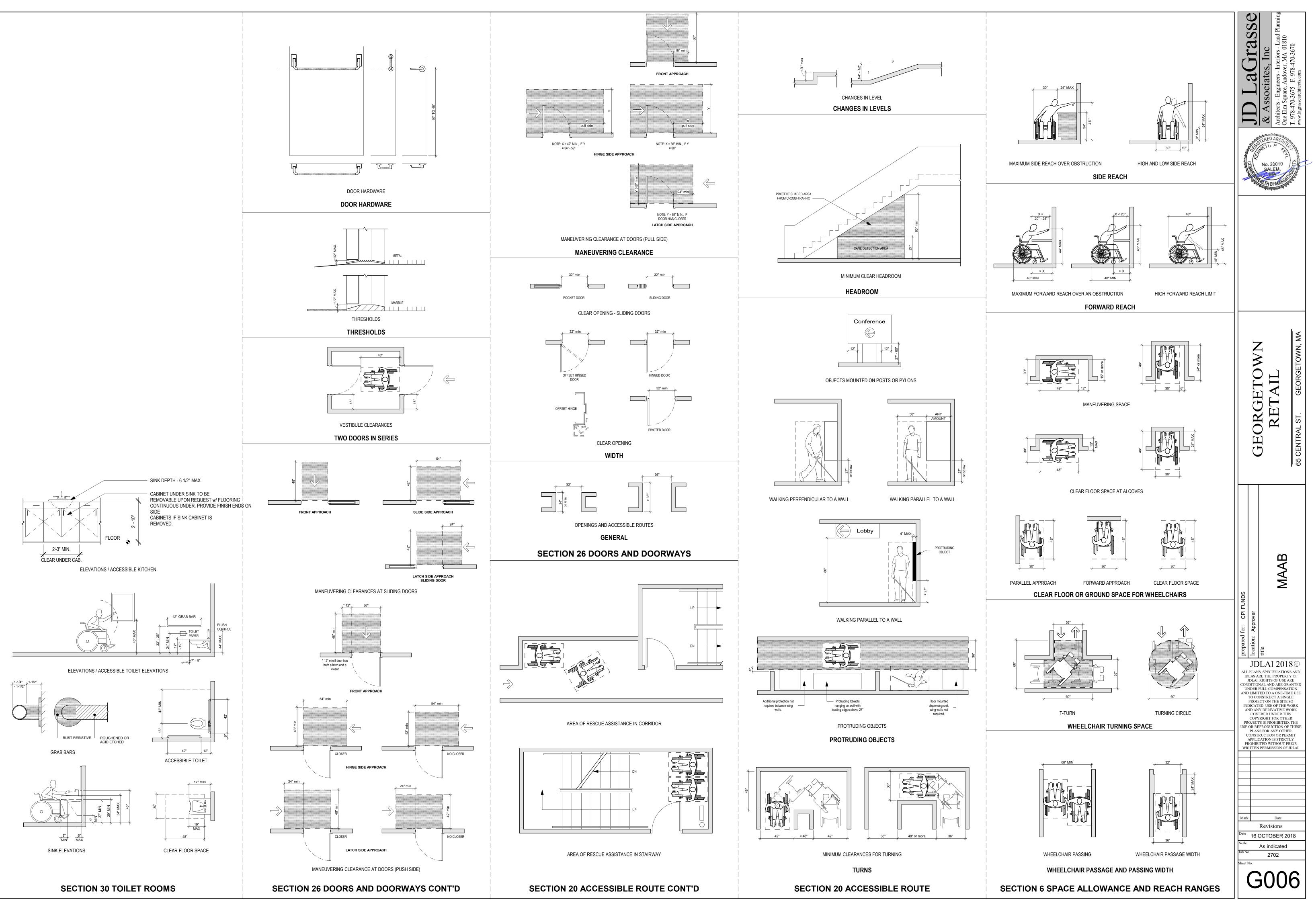
- Complete punchlist items promptly at no additional expense to the Owner.
- Submit accurate record documents of building and site. 4

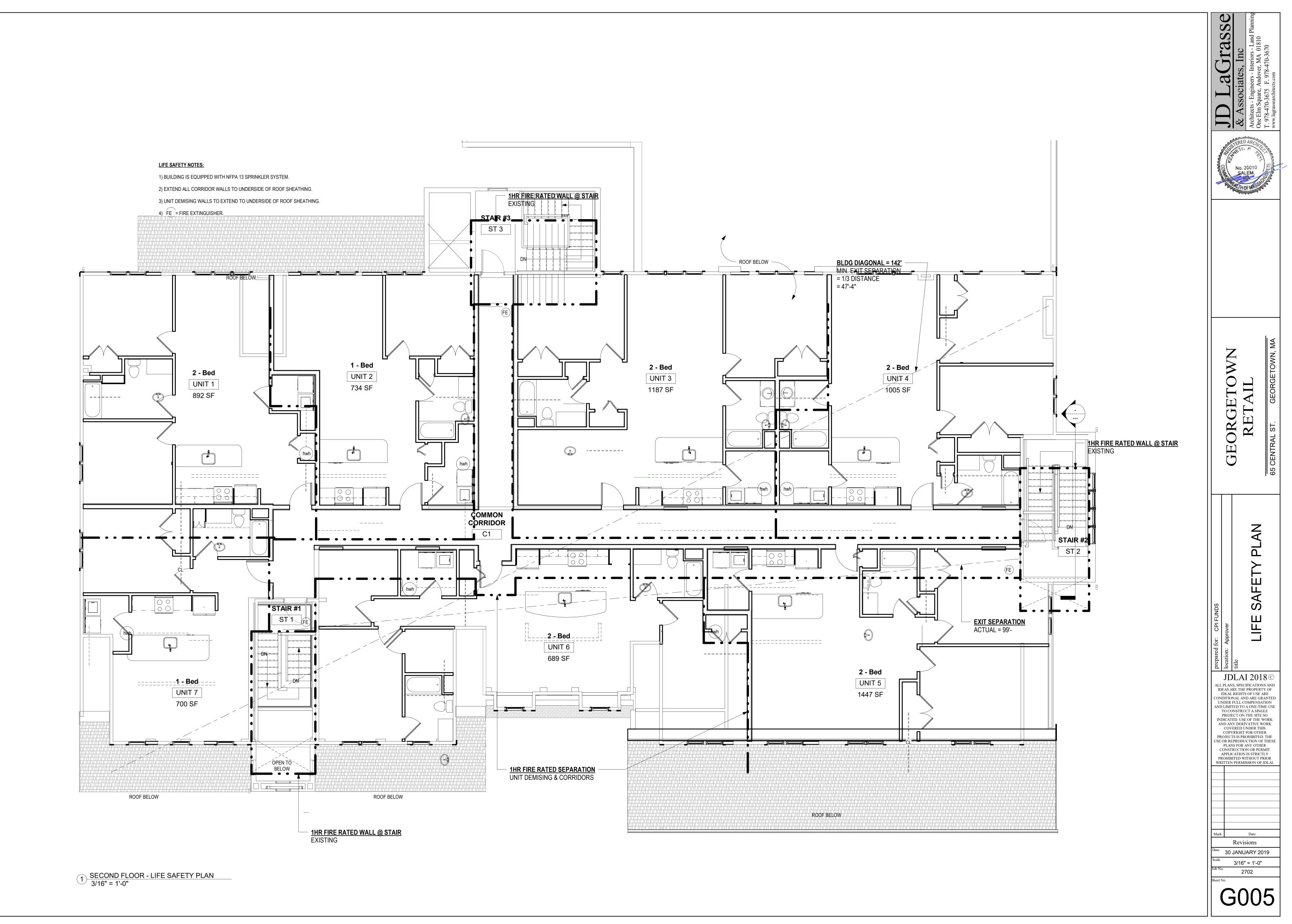
	11 Auvilian Materiale	- Participa	7. Auxiliary Materials:	SC Planning
Remove and replace work which does not conform to the contract documents at no additional expense the Owner.	 Auxiliary Materials: a. Sill Sealer Gaskets: Glass fiber strip resilient insulation. b. Eraming Apphars and Eastenars: Non corrective suitable for load and exposure 	Products: 1. Finish Coating over Molded Polystyrene Board: 5. Turner, FIMA Class PD	 Auxiliary Materials: a. Plastic foam joint fillers. b. Elastomeric tubing backer rods. 	
tallation:	b. Framing Anchors and Fasteners: Non corrosive, suitable for load and exposure. Installation:	a. Type: EIMA Class PB.b. Base Coat: Portland cement and polymer adhesive.	c.Bond breaker tape.	Its - Lar
Inspect substrates and report unsatisfactory conditions in writing. Do not proceed until unsatisfactory conditions have been corrected.	1. Comply with requirements of Section 011000 - Project Requirements. 2. Comply with NFPA Manual for House Framing, NFPA Recommended Nailing Schedule, and NFPA National	c. Finish Coat: Polymer emulsion.d. Thermal Insulation: Molded rigid cellular polystyrene.	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	T III , III
Take field measurements prior to fabrication where practical. Form to required shapes and sizes with true s, lines and angles. Provide inserts and templates as needed for work of other trades.	Design Specifications for Wood Construction. 3. Comply with APA Design and Construction Guide, Residential and Commercial Construction.	 e. Adhesive Attachment: Adhesive. f. Mechanical Attachment: Mechanical fasteners, corrosion resistant. 	 Test sealant adhesion for each substrate required. Install in proper relation with adjacent work. 	ates - Is
Install materials in exact accordance with manufacturer's instructions and approved submittals. Install materials in proper relation with adjacent construction and with proper appearance.	 Provide nailers, blocking and grounds where required. Set work plumb, level and accurately cut. Comply with manufacturer's requirements for treated materials. 	g. Reinforcing Fabric: Standard weight with high impact type at areas subject to damage.	4. Clean adjacent surfaces soiled with sealant immediately.	Engineer And
Restore units damaged during installation. Replace units which cannot be restored at no additional expense e Owner.	SECTION 064023 - INTERIOR ARCHITECTURAL WOODWORK	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	SECTION 081110 - HOLLOW METAL DOORS AND FRAMES	
Refer to additional installation requirements and tolerances specified under individual specification ions.	Summary:	 Provide impact resistant reinforcing at areas subject to abuse. Wrap edges of insulation board with fabric and finish coating at reveals and sealant joints. 	Summary: 1. Provide Steel Doors and Frames:	As As A and
eout:	 Provide Interior Architectural Woodwork: a. Standing and running trim and rails. 	SECTION 072700 - AIR BARRIERS	a. Interior doors and frames. b. Exterior doors and frames.	Archi
Prepare punchlist for remaining work for review by the Architect. Complete punchlist items promptly at no additional expense to the Owner.	b. Casework and countertops.c. Flush wood paneling and wainscots.	Summary:	 c. Remodel existing doors and frames. d. Refinish existing doors and frames. 	
Submit accurate record documents of building and site. Submit operating manuals, maintenance manuals, and warranty information.	d. Stairwork and rails.e. Door frames, glazed frames and framed openings.	1. Provide continuous air barrier membrane at exterior wall and soffit assemblies.	Submittals:	SSISTERED ARCAN
Obtain and submit copy of occupancy permits. Remove temporary facilities and provide final cleaning and touch up.	f. Closet and utility shelving.2. Remodel existing interior architectural woodwork.	Products: 1. Type: Self-adhering, vapor retarding, 40 mils.	1. Submit product data, shop drawings.	
Restore portions of building, site improvements, landscaping and other items damaged by construction ations to the satisfaction of the Architect at no additional expense to the Owner.	3. Refinish existing interior architectural woodwork.	 Type: Self-adhering, vapor permeable, 40 mils. Type: Fluid-applied, vapor retarding, 60 mils dry film thickness. 	Products:	No. 20010 SALEM,
TION 012100 - ALLOWANCES	Submittals: 1. Submit product data, samples, mockup of each type.	4. Transition Materials: Silicone sheet.	 Products: As selected by Architect complying with the following. Standards: ANSI/SDI 100, Recommended Specifications for Standard Steel Doors and Frames. 	THE THORNES
nary:	Products:	SECTION 074600 - SIDING	 Fire Rated Assemblies: NFPA 80, and acceptable testing agency listing. Steel Doors: Standard seamless steel doors with hollow or composite construction. 	THOP MIL
Include scheduled allowances in the project cost; allowance is for cost of materials only, delivered and delivered at the site. Installation and all other costs are to be included in base price and separate from allowance	 AWI Standards: Architectural Woodwork Standards. Fire Retardant Treatment: 	Summary: 1. Fiber-cement siding and trim. Basis of Design: Certainteed Corp.,	a.Interior Doors: ANSI/SDI 100, Grade II, heavy duty, minimum 18 gage cold rolled steel, 1 3/4 inches thick.	
nts. Submit invoices to indicate actual guantities of materials delivered and costs. Indicate amounts of	a. Lumber: AWPA C20, non corrosive interior type.b. Plywood: AWPA C27, non corrosive interior type.	2. PVC trim. Basis of Design: Azek by Vycom	b.Exterior Doors: ANSI/SDI 100, Grade III, extra heavy duty, minimum 16 gage galvanized sheet steel, 1 3/4 inches thick.	
cable trade discounts.	 c. Particleboard: ASTM E 84, flame spread 20 or less. 3. Interior Standing and Running Trim and Rails: 	Submittals: 1. Submit product data, samples, mockup of each type	c.Finish: Factory primed and field painted.5. Steel Frames:	
vance 1: Provide allowance for commercial grade roll good, level loop carpet 32 oz. or better in common area lors, stair landings and treads and risers. Provide resilient transition strip and necessary threshold at stair door	 a. Species for Transparent Finish: Rift sawn clear red oak. b. Species for Transparent Finish: Match existing. 	Products:	a.Interior Frames: Knockdown type to match existing or welded type, sheet steel, mitered or coped corners, 16 gage, 14 gage for frames wider than 5 feet.	
ngs, coordinate as required. \$28 per sq. yd.	 c. Species for Transparent Finish: Match existing. c. Species for Opaque Finish: Any closed grain hardwood. d. Grade: Premium. 	1. Siding: Made from fiber-cement board that complies with ASTM C 1186, Type A, Grade II; is classified	b.Exterior Frames: Welded type, galvanized sheet steel, mitered or coped corners, 14 gage. c.Accessories: Door silencers and plaster guards.	
ance 2: Provide allowance for procelain tile, grout, grout sealer over 1/4" cement board or fracture mat in all oms and laundry. \$16 per sq. ft. installed	 d. Grade: Premium. 4. Interior Wood Casework: a. Species for Transparent Finish: Rift sawn/cut red oak. 	as noncombustible when tested according to ASTM E 136; and has a flame-spread index of 25 or less when tested according to ASTM E 84.	d.Finish: Factory primed and field painted.	
wance 3: Per storefront door: \$1,500 per door	b. Species for Transparent Finish: Plain sawn/sliced maple.	2. Cellular PVC Trim: Extruded, expanded PVC with a small-cell microstructure, made from UV- and heat- stabilized, rigid material:	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	
TION 012300 - ALTERNATES	 c. Species for Opaque Finish: Closed grain hardwood. d. Grade: Premium. 	aDensity: Not less than 31 lb/cu. ft. b. Heat Deflection Temperature: Not less than 130 deg F, per ASTM D 648.	 Comply with Fequirements of Section of 1000 - Project Requirements. Comply with SDI 100, and NFPA 80 for fire-rated assemblies. 	
mary: Submit price for each alternate. Include cost of modifications to other work to accommodate alternate.	e. Grain and Veneer Matching: As selected by Architect.5. Interior Plastic Laminate Clad Casework:	c. Coefficient of Thermal Expansion: Not more than 4.5 x 10-5 inches/inch x deg F. d. Water Absorption: Not more than 1 percent, per ASTM D 570.	SECTION 081400 - STILE AND RAIL MDF WOOD DOORS	
de statement of impact on schedule, if any. Architect and Owner will determine which alternates are oted.	a. Laminate: High pressure decorative laminate, NEMA LD 3.b. Grade: Premium.	e. Flame-Spread Index: 75 or less, per ASTM	Summary:	
nates:	6. Casework Hardware and Auxiliary Materials:a. Hardware Standard: ANSI/BHMA A156.9.	Installation: 1. General: Comply with siding and trim manufacturer's written installation instructions applicable to	1. Provide interior solid core MDF wood doors.	
Alternate No. 1: Provide price for replacing damaged 2x wood trusses in entirety. Include price for removing ng roof to allow for replacement from above.	 b. Hardware Finish and Base Metal: Satin stainless steel. c. Hardware Finish and Base Metal: Satin chromium plated steel. 	products and applications indicated unless more stringent requirements apply. 2. Do not install damaged components.	Submittals: 1. Submit product data, samples, shop drawings, warranty.	
Alternate No. 2: Provide price to reinforce damaged 2x wood trusse. Refer to structural drawings and roof ing plan for details of truss reinforcement.	 Glass: Clear tempered glass, ASTM C 1048. Solid Surfacing Material Countertops and Trim: 	 Install damaged components. Install fiber-cement siding and trim and related accessories. Install fasteners no more than 24 inches o.c. horizontally and 2 inches from ends. 	Products:	
Alternate No. 3: Provide price for replacing roof shingles (plywood roof sheathing to remain) and gable end rake rds.	a. Type: Synthetic countertops. b. Grade: Premium.	 Install fasteners no more than 24 incres o.c. horizontally and 2 incres from ends. Install minimum of two fasteners at each bearing for PVC boards up to 6 in. wide, three fasteners for boards up to 10 in. wide. 	 Products: As selected by Architect complying with the following. AWI Quality Standards: NWWDA I.S. 1 A, and AWI Architectural Quality Standards. 	
as. TION 024100 - DEMOLITION	c. Edge: Decorative. d. Special Fabrication: Integral bowls.	6. Align fasteners to engage framing member behind sheathing.	 Fire Rated Wood Doors: Meeting ASTM E 152 requirements. Interior Solid Core Doors: 	3
	e. Special Fabrication: Integral bowls. e. Special Fabrication: Decorative assemblies. 9. Stone Countertops and Trim:	 Install siding for average 5 in. exposure, adjusting as required to align courses with window and door openings. Install PVC trim with shiplap vertical joints bonded with manufacturer's adhesive. Provide two fasteners at end of each board 	a. Grade: Premium.b. Construction: 5 ply.	
mary: Provide complete demolition of designated building structures.	 Stone Countertops and Trim: a. Marble: Polished finish, ASTM C 503 dimensional tolerances. b. Granite: Polished finish. ASTM C 615 dimensional tolerances. 	each board. 9. Install joint sealants as specified in Section 079200 - JOINT SEALANTS and to produce a weathertight	 c. Core: Structural composite lumber core. d. Species, Grain Matching and Transparent Finish: As selected by Architect. 	
Provide selective demolition of interior partitions, systems, and components designated to be removed. Provide selective demolition of exterior facade, structures, and components designated to be removed.	10. Flush Wood Paneling and Wainscots:		 e. Species, Grain Matching and Transparent Finish: Match existing. 5. Fitting and Finish: 	
Protect portions of building, site and adjacent structures affected by demolition operations. Provide demolition of below grade foundations and site improvements to depth to avoid conflict with new	 a. Species for Transparent Finish: Rift cut red oak. b. Species for Transparent Finish: Plain sliced maple. 	SECTION 076200 - SHEET METAL FLASHING AND TRIM	 a. Fitting: Factory prefit and premachine doors. b. Fitting: Remodel existing doors as required. 	
ruction and site work. Remove hollow items or items which could collapse.	c. Grade: Premium.d. Core: Fire retardant particleboard.	Summary: 1. Provide Flashing and Sheet Metal:	Installation	KE KE
Remove abandoned utilities and wiring systems. Provide temporary protection for the public from demolition operations.	e. Veneer and Panel Matching: As selected by Architect.11. Stairwork and Rails:	 a. Metal counterflashing and base flashing. b. Exterior wall flashing and expansion joints. 	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	
Provide pollution control during demolition operations. Provide removal and legal disposal of materials.	a. Species for Transparent Finish: Rift sawn red oak.b. Species for Transparent Finish: Match existing.	 c. Exposed metal trim and fascia units. d. Sheet metal accessories. 	 Comply with NWMA IS 1 and AWI Quality Standards. Prefit doors to frames, premachine doors for hardware, and factory bevel. Install with pat mere than 1/2 inch alcorners at the and side. 1/4 inch at bettern unless. 	$ $ \square
Refer to Construction Documents for additional demolition requirements. Notify Owner in writing of schedule of shut off of utilities which serve occupied spaces.	 c. Species for Opaque Finish: Any closed grain hardwood. d. Grade: Premium. 	Submittals:	4. Install with not more than 1/8 inch clearance at top and sides, 1/4 inch at bottom unless undercut is required.	
Notify Owner in writing of schedule of shut off of utilities which serve occupied spaces. Notify Owner in writing if hazardous materials are encountered or suspected and stop work in that area I determination is made.	12. Interior Frames and Framed Openings: a. Species for Transparent Finish: Rift sawn red oak.	1. Submit product data, samples, shop drawings.	5. Comply with NFPA 80 for rated assemblies.	
determination is made.	 b. Species for Transparent Finish: Match existing. c. Species for Opaque Finish: Any closed grain hardwood. 	Products: 1. Sheet Metal Flashing and Trim:	SECTION 083110 - ACCESS DOORS AND FRAMES	
Submit demolition schedule. Include methods for protecting adjacent work and location of temporary	 d. Grade: Premium. 13. Shelving: 	a. Stainless Steel: AISI Type 302/304, ASTM A 666, 2D annealed finish, 28 gage (.0156 inch).	Summary: 1. Provide access doors for walls and ceilings.	
itions if applicable. Submit proposed location for legal disposal of materials, and permit if applicable.	a. Wire mesh, plastic-covered closet shelving.	 b. Sheet Aluminum: ASTM B 209, alloy 3003, clear anodized, 20 gage (.0359 inch). 2. Fabricated Units: Compliance with SMACNA Architectural Sheet Metal Manual. 	Submittals:	
nolition:	 b. Closet poles: Chrome plated steel with intermediate supports. 14. Factory Finishing for Interior Architectural Woodwork: 	 Auxiliary Materials: Solder compatible with metal. 	1. Submit product data.	
Survey existing conditions and correlate with Drawings and specifications to verify extent of demolition required. ide videotape of existing conditions if clarification of existing damage may be construed as damage done by	a. Transparent Finish: Premium grade, stain and gloss as selected by Architect.b. Transparent Finish: Match existing.	b. Bituminous isolation coating.c. Mastic and elastomeric sealants.	Products: 1. Products: As selected by Architect complying with the following.	
struction operations. Verify conditions at site to determine whether demolition methods proposed for use will not endanger	Installation:	Installation:	 Products. As selected by Architect complying with the following. Frames: 16 gage sheet steel, with flange suitable for adjacent material. Doors: 14 gage sheet steel. 	
ing structures by overloading, failure, or unplanned collapse. Perform demolition operations by methods which do not endanger adjacent spaces, structures, or the	 Comply with requirements of Section 011000 - Project Requirements. Comply with standards referenced. 	 Comply with requirements of Section 011000 - Project Requirements. Install flashing and sheet metal with provision for expansion and contraction. 	4. Door Type: Flush.	
c. Perform demolition operations to prevent dust and pollutant hazards. Provide chutes as required	 Backprime work before installation. Provide trim for scribing and site cutting. 	 Install flashing and sheet metal to shed water properly. Isolate dissimilar metals with bituminous coating. 	 Locking Devices: Cylinder locks. Fire Rating: NFPA 80. Finish for Short Stoel Access Deers: Feeters primed 	
htrol dust and debris. Historic items, relics, and other objects of interest or value found during demolition remain the property	 Install work plumb, level and in proper alignment. Provide work free from tool marks and blemishes. 	SECTION 078410 - PENETRATION FIRESTOPPING	7. Finish for Sheet Steel Access Doors: Factory primed.	
Owner.	 Securely fasten to substrates. Install in lengths to minimize joints and seams. 	Summary:	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	
TION 061000 - ROUGH CARPENTRY	 9. Color match wood for transparent finish at joints for uniform appearance. 10. Touch up damaged or abraded finishes. 	Summary: 1. Provide Firestopping at the Following Locations: a. Penetrations through fire resistance rated floor and roof construction.	SECTION 084113 - ALUMINUM FRAMED STOREFRONT	
mary: Provide Rough Carpontar	SECTION 072100 - BUILDING INSULATION	b. Penetrations through fire resistance rated walls and partitions.	Summary:	
Provide Rough Carpentry: a. Framing with dimension lumber.		 c. Penetrations through smoke barriers and construction enclosing compartmentalized areas. d. Sealant joints in fire resistance rated construction. 	1. Exterior storefront framing. 2. Storefront framing for window walls.	
b. Framing with engineered wood products.c. Wood grounds, nailers, and blocking.	Summary: 1. Provide Building Insulation:	Submittals:	 Storefront framing for window walls. Storefront framing for punched openings. 	
d. Wood furring.e. Gypsum sheathing on exterior metal studs.	a. Under slabs on grade, board type.b. Foundation walls, board type.	1. Submit product data, test reports, mockup of each type of joint.	 Storefront framing for punched openings. Exterior manual-swing entrance doors and door-frame units. 	App
Remodel existing rough carpentry.	c. Thermal insulation in exterior cavity or applied to walls, board type.d. Thermal insulation closed-cell insulation in exterior cavity and attic.	Products: 1. Fire Performance: ASTM E 119, ASTM E 814, and local regulations.	Submittals:	ared tion:
nittals: Submit product data.	e. Thermal insulation in masonry cells, loose fill type. f. Thermal insulation at underside of roofs, over heated spaces and over soffits, blanket type.	 Through Penetration Firestop Systems: a. Ceramic Fiber and Mastic Coating. 	 Include construction details, material descriptions, dimensions of individual components and profiles, and finishes. Chan Drawinger For shuminger formed entropies and stanformer, hadvala glass. 	prep loca title
cts:	 g. Thermal insulation over unheated areas, blanket type. h. Sheet vapor retarders at locations where air and vapor barrier membrane is not used. 	b. Endothermic, Latex Compounds. c. Intumescent Latex Sealant.	2. Shop Drawings: For aluminum-framed entrances and storefronts. Include plans, elevations, sections, full-size details, and attachments to other work.	JDLAI 20
Lumber Standards and Grade Stamps: PS 20, American Softwood Lumber Standard and inspection by grade stamps.	Submittals:	 Fire Resistive Elastomeric Joint Sealants: a. Single component, neutral curing, silicone sealant. 	3. Include details of provisions for assembly expansion and contraction and for draining moisture occurring within the assembly to the exterior.	ALL PLANS, SPECIFICATI
construction Panel Standards: PS 1, U.S. Product Standard for Construction and Industrial Plywood; APA PRP	1. Submit product data.	a. Single component, neutral curing, silicone sealant.b. Single component, nonsag, urethane sealant.	4. Include full-size isometric details of each vertical-to-horizontal intersection of aluminum-framed entrances and storefronts, showing the following:	JDLAI. RIGHTS OF US CONDITIONAL AND ARE UNDER FULL COMPEN
Wood Framing Standards: NFPA House Framing Manual.	Products: 1. Board Insulation: Extruded polystyrene, rigid, ASTM C 578.	Installation:	 a. Joinery, including concealed welds. b. Anchorage. 	AND LIMITED TO A ONE- TO CONSTRUCT A SI PROJECT ON THE SI
Preservative Treatment: AWPA C2 for lumber and AWPA C9 for plywood; waterborne pressure treatment. Fire Retardant Treatment for All Interior Concealed Carpentry: AWPA C20 for lumber and AWPA C27 for	2. Blanket/Batt Insulation: Glass fiber or mineral slag fiber, ASTM C 665, Type I (unfaced).	 Comply with requirements of Section 011000 - Project Requirements. Inspect existing and new work for proper firestopping prior to close in of ceilings and walls. 	c. Expansion provisions. d. Glazing.	INDICATED. USE OF TH AND ANY DERIVATIVE
od; noncorrosive type. Dimension Lumber:	 Loose Fill Insulation: Loose granular perlite, ASTM C 549, Type II. Vapor Retarder: Polyethylene, ASTM D 4397, 6 mils, 0.13 perm vapor transmission rating. 	3. Provide material thicknesses necessary to provide fire resistance ratings indicated or required by authorities having jurisdiction.	 e. Flashing and drainage. 5. Show connection to and continuity with adjacent thermal, weather, air, and vapor barriers. 	COVERED UNDER COPYRIGHT FOR OT PROJECTS IS PROHIBIT
a. Light Framing: Stud, No. 3 or Standard grade.b. Structural Framing: No. 1 grade.	5. Accessories: a. Adhesives and mechanical anchors.	SECTION 079200 - JOINT SEALANTS	 Show connection to and continuity with adjacent thermal, weather, and vapor barnets. Samples for Initial Selection: For units with factory-applied color finishes Samples for Verification: For each type of exposed finish required, in manufacturer's 	USE OR REPRODUCTION PLANS FOR ANY OT CONSTRUCTION OR I
c. Species: Any species of grade indicated.d. Exposed Framing: Appearance grade.	b. Protection board.c. Crack sealers and tapes.	Summary:	standard sizes.	APPLICATION IS STR PROHIBITED WITHOU
Miscellaneous Lumber, Blocking and Nailers: a. Moisture Content: 19 percent.	Installation:	1. Provide joint sealers at interior and exterior vertical and horizontal joints.	8. Fabrication Sample: Of each vertical-to-horizontal intersection of assemblies, made from 12-inch (300-mm) lengths of full-size components and showing details of the following:	WRITTEN PERMISSION
b. Grade: Standard grade light framing. Engineered Wood Products:	 Comply with requirements of Section 011000 - Project Requirements. Install insulation and vapor barriers with continuous coverage to provide optimum performance. 	Submittals: 1. Submit product data, mockup of each joint type, adhesion test results for each joint type.	a. Joinery, including concealed welds.b. Anchorage.	
a. Laminated Veneer Lumber: Laminated wood veneers with exterior type adhesive;	SECTION 072413 - EXTERIOR INSULATION AND FINISH SYSTEMS	Products:	c. Expansion provisions. d. Glazing.	
design stresses for use intended. b. Prefabricated Wood I Joists: Stress graded lumber bonded to APA performance rated		1. Silicone Elastomeric Joint Sealants:	 e. Flashing and drainage. 9. Entrance Door Hardware Schedule: Prepared by or under supervision of supplier, detailing fabrication 	
with exterior type adhesive; design stresses for use intended. c. Composite Joists and Headers: Laminated lumber veneers; design stresses for use	Summary: 1. Provide Exterior Insulation and Finish Systems:	a.Type: Multi part nonacid curing silicone sealant, ASTM C 920, for vertical and horizontal joints, modulus as required for application,	and assembly of entrance door hardware, as well as procedures and diagrams. Coordinate final entrance door hardware schedule with doors, frames, and related work to ensure proper size,	
intended. Construction Panels:	a. Applications over concrete surfaces.b. Applications over masonry surfaces.	b. Application: Joints in exterior walls and soffits.2. Latex Joint Sealants:	thickness, hand, function, and finish of entrance door hardware.	
 a. Combination Subfloor Underlayment: APA Sturd I Floor, Exposure 1. b. Subflooring: APA Sheathing, Exposure 1. 	c. Applications over exterior cement board. d. Applications over gypsum sheathing.	 a. Acrylic Type: Acrylic emulsion, ASTM C 834. b. Application: Interior joints in vertical and overhead surfaces with limited movement. 	Products:	Mark Date
c. Wall Sheathing: APA Sheathing, Exposure 1. d. Roof Sheathing: APA Sheathing, Exposure 1.	Submittals:	 Application: Interior joints in ventear and overhead surfaces with initied movement. Sanitary Silicone Elastomeric Joint Sealants: a. Type: One part mildew resistant silicone sealant, ASTM C 920. 	1. Aluminum Extrusions: Alloy and temper recommended by aluminum window manufacturer for strength, corrosion resistance, and application of required finish.	Revisions
e. Plywood Backing Panels: APA C D Plugged Exposure 1 with exterior glue, fire retardant	1. Submit product data, samples, shop drawings, 4 foot by 4 foot mockup, warranty.	 a. Type: One part middew resistant sincone searant, ASTM C 920. b. Application: Sanitary applications, interior use. 4. Compression Seals: 	2. Thermal Barrier: Structural thermal break made with glass-reinforced nylon strips, (closed cell PVC foam strips) installed by the window manufacturer in the frame and vent members.	Date 16 OCTOBER
ed. f. Plywood Underlayment for Resilient Flooring: APA Underlayment Exterior.		a. Type: Preformed foam sealant.	3 Fasteners: Aluminum, nonmagnetic stainless steel or other materials to be non-corrosive and compatible with aluminum window members, trim, hardware, anchors, and other components.	Job No. 2702
Gypsum Sheathing: a. Surfaced Gypsum Material: ASTM C1177, glass fiber surfaced gypsum sheathing board.		 b. Application: Wide exterior joints in vertical surfaces. 5. Fire Resistive Joint Sealers: 	 Anchors, Clips, and Accessories: Aluminum, nonmagnetic stainless steel, or zinc-coated steel or iron complying with ASTM B 633 for SC 3 severe service conditions; provide sufficient strength to withstand 	Sheet No.
		a. Type: One part fire stopping sealant.b. Application: Penetrations in fire rated floor and wall assemblies.	design pressure indicated.	
		6. Urethane Elastomeric Joint Sealants:		G00
		a. Pourable Type: Multi part pourable urethane sealant, ASTM C 920. b. Application: Exterior paving joints.		

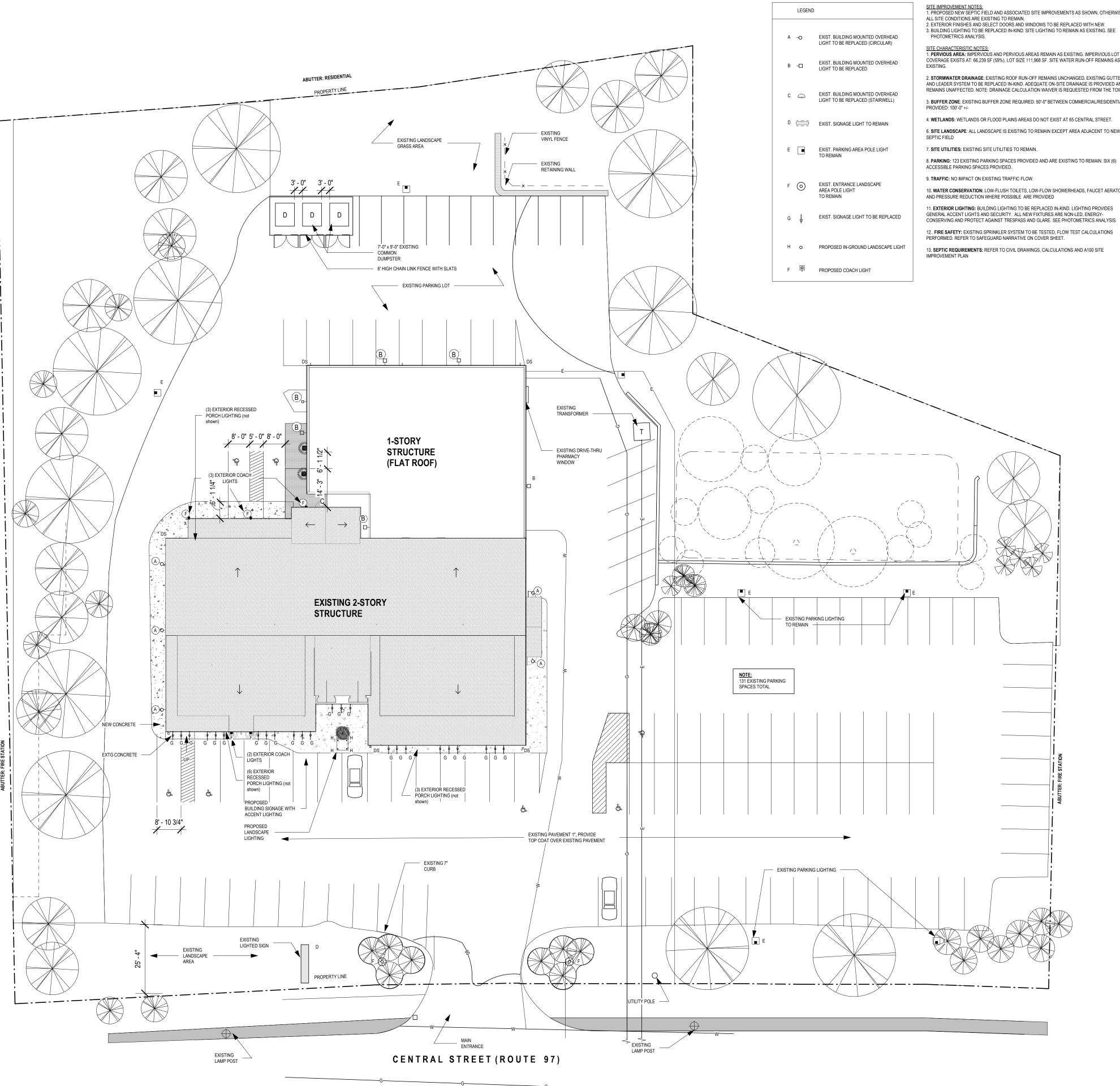
5. Reinforcing Members: Aluminum, nonmagnetic stainless steel, or nickel/chrome- plated steel complying with ASTM B 456 for Type SC 3 severe service conditions, or	Air Pressure Difference. e.ASTM E2190 - Standard Specification for Insulating Glass Unit Performance and Evaluation. f. ASTM F2090 - Standard Specification for Window Fall Prevention Devices with Emergency Escape	 9. Elastomeric Sealants: a. One part mildew resistant silicone sealant for non traffic areas. 	3. Fire Extinguishers:
zinc-coated steel or iron complying with ASTM B 430 for STM B 633 for SC 3 severe service conditions; end to a conditions; end to conditions; end to a conditions; end to a condi	(Egress) Release Mechanisms.	b. Multi part pourable urethane sealant for traffic areas.c. Chemical resistant sealant at chemical resistant flooring. finish.	a. Type: Stored pressure water.b. Type: Multipurpose dry chemical.
 6. Sealant: For sealants required within fabricated windows, provide window 	g. ASTM D 1929 - Standard Test MEthod for Determining Ignition Temperature of Plastics 5. Insulating Glass Certification Council (IGCC): Insulating Glass Unit Certification.	Installation:	 c. Rating: Sized for project requirements. 4. Cabinets:
manufacturer's standard, permanently elastic, non-shrinking, and non-migrating type recommended by sealant manufacturer for joint size and movement.	6. Insulating Glass Manufacturers Alliance of Canada (IGMAC) and Canadian General Standards Board (CGSB): Insulating Glass Units Standard CAN/CGSB 12.8-97.	 Comply with requirements of Section 011000 - Project Requirements. Comply with ANSI 108 series standard specifications and Tile Council of North America, Handbook for 	a. Mounting: Match existing. b. Trim: Match existing.
	7. International Standards Organization (ISO): ISO 14021 - Environmental Labels and Declarations Self-Declared Environmental Claims (Type II Environmental Labeling).	Ceramic Tile Installation. 3. Layout tile in grid pattern with alignment of grids, to provide uniform joint width, and to minimize cutting.	c. Doors: Match existing. d. Door Style: Match existing.
1. Examine openings, substrates, structural support, anchorage, and conditions, with	 8. National Fenestration Rating Council (NFRC): a. NFRC 100 - Procedure for Determining Fenestration Product U-Factors. b. NFRO 2020 - Procedure for Determining Fenestration Product U-Factors. 	4. Grout, cure, clean and protect tile surfaces.	e. Accessories: Match existing.
Installer present, for compliance with requirements for installation tolerances and other ns affecting performance of work. Verify rough opening dimensions, levelness of sill plate rational clearances.	 b. NFRC 200 - Procedure for Determining Fenestration Product Solar Heat Gain Coefficient and Visible Transmittance at Normal Incidents b. US Environmental Protoction Access (EDA): ENERGY CTAR 	Summary:	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.
2. Examine wall flashings, vapor retarders, water and weather barriers, and other built-	 US Environmental Protection Agency (EPA): ENERGY STAR. Window and Door Manufacturers Association (WDMA): 	1. Provide hardwood floor, finish materials and floor preparation.	SECTION 113100 - APPLIANCES
in components to ensure a coordinated, weather tight window installation. 3. Masonry Surfaces: Visibly dry and free of excess mortar, sand, and other construction debris.	 WDMA Hallmark Certification Program for Manufacturers. WDMA I.S. 4 - Industry Specification for Preservative Treatment for Millwork. 	Submittals: 1. Submit product data, samples, seaming diagram, mockup, warranty, maintenance data.	Summary:
4. Wood Frame Walls: Dry, clean, sound, well nailed, free of voids, and without offsets at joints. Ensure that nail heads are driven flush with surfaces in opening and within inches (76.2 mm) of opening.	 Comply with GANA Glazing Manual and manufacturer's recommendations Install vinyl double-hung windows in accordance with manufacturer's instructions. 	Products:	Provide kitchen area appliances. a. 30" Ranges, electric, stainless steel, slide-in
 Metal Surfaces: Dry; clean; free of grease, oil, dirt, rust, corrosion, and welding slag; without sharp edges or offsets at joints. Proceed with installation only after unsatisfactory conditions have been corrected. 	 Install windows plumb, level, square, and without distortion. Maintain alignment with adjacent work Installation and the state of the s	1. ASTM E648 – Standard Test Method for critical Radiant Flux of Floor Covering systems using a radiant heat energy sources 0.45 watts/cm ² or greater, Class 1. radiant	 b. Refrigerators, stainless steel, French door with ice maker – 3 c. Microwave oven/hood combination, stainless steel, exhaust
7. Comply with Drawings, Shop Drawings, and manufacturer's written instructions for	 17. Install windows to be weathertight. 18. Install windows to be freely operating. 	2. ASTM F1869 - Standard Test Method for Measuring Moisture Vapor Emission Rate of Concrete Subfloor Using Anhydrous Calcium Chloride.	with range d. Dishwashers, stainless steel exterior & interior
installing windows, hardware, accessories, and other components. 8. Install aluminum-framed window system level, plumb, square, true to line, without	 Verify proper operation of operating hardware. Integrate window installation with exterior weather-resistant barrier using flashing/sealant tape. 	 ASTM F710 - Practice for Preparing Concrete Floors. ASTM F2170-09 Standard test method for determining relative humidity in concrete slabs using In-Situ-probes. 	e. Electric washer and dryer (white), front-loading
distortion or impeding thermal movement, anchored securely in place to structural support, proper relation to wall flashing and other adjacent construction. 9. Set sill members in bed of sealant or with gaskets, as indicated, for weather	Apply and integrate flashing/sealant tape with weather-resistant barrier using watershed principles in accordance with window manufacturer's instructions.	Installation:	Submittals: 1. Submit product data, shop drawings, warranty, maintenance data.
tight construction. 10. Install aluminum-framed window system and components to drain condensation,	21.Seal windows to exterior wall cladding with sealant and related backing materials at perimeter of assembly. 22. Place interior seal around vinyl window perimeter to maintain continuity of building thermal and air barrier using backer rod	1. Provide permanent HVAC operation (2 week minimum) and permanent lighting prior to installation.	Products:
 water penetrating joints, and moisture migrating within system to the exterior. Separate aluminum from dissimilar materials to prevent corrosion or electrolytic 	and sealant 23. Leave windows closed and locked.	2. Maintain room temperature between 60-80°F and relative humidity between 35% and 55%, prior to, during and after the installation. Keep in mind that if the relative humidity drops below 35% for extended periods, the flooring	1. Products: As selected by Architect.
action at points of contact.	SECTION 092110 - GYPSUM BOARD ASSEMBLIES	may contract causing unsightly splits and gaps.3. Do not install flooring until all other significant construction work is complete. Close spaces to traffic during the	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.
N 087100 - DOOR HARDWARE	Summary:	installation of the flooring and protect the surface as necessary with a breathable material after the completion of the installation.	SECTION 210000 - FIRE SUPPRESSION
y:	 Provide Gypsum Board Assemblies: Interior walls, partitions, and ceilings for tape and joint compound finish. 	4. Do not install flooring over concrete slabs until they are dry enough to achieve a bond with the adhesive in accordance with the manufacturer's recommended bond and moisture test.	Summary:
Provide hardware for swinging doors. Remodel existing hardware.	 b. Insulation and vapor barrier systems in gypsum drywall systems. c. Cementitious backer units for application of tile. 	SECTION 096800 - CARPETING	Refer to Fire Protection Drawings for fire protection specifications and a Provide fire protection systems for the following:
Comply with code and accessibility requirements.	 d. Glass reinforced gypsum fabrications. e. Remodeling gypsum drywall systems at areas of new construction. 	Summary:	 a. Sprinkler system. b. Fire and smoke detection system.
ls: Submit product data, samples, proposed hardware schedule, maintenance data.	Submittals:	1. Provide carpet and floor preparation.	c. Fire alarm system. d. Standpipe system.
	1. Submit product data, 4 foot by 4 foot mockup showing joint treatment.	Submittals: 1. Submit product data, samples, seaming diagram, mockup, warranty, maintenance data.	 Standpipe system. Modify, relocate and extend existing service to accommodate new worl new system. Provide concealed flush mounted heads at acoustical ceilings.
Products: As selected by Architect complying with the following. Product Requirements:	Products: 1. Products: As selected by Architect complying with the following.	Products:	4. Maintain fire alarm system in operation during construction.
Hardware for Fire Rated Openings: NFPA 80, and local requirements. Handicapped Accessibility: ANSI A117.1, ADAAG, and local requirements.	 Gypsum Wallboard: ASTM C 36, regular, foil backed, and fire rated types, 5/8 inch typical thickness. Glass Mat Water Resistant Gypsum Backing Board: ASTM C 1178, Type X, 5/8 inch thick. 	 Products: As selected by Architect complying with the following. Carpet Material: Match existing. 	 Coordinate with Owner's room uses to provide adequate system for all Coordinate location of fire protection systems to avoid interference with fixture locations.
Materials and Application: ANSI A156 series standards. Quality Level: Commercial.	 Cementitious Backer Units: ANSI A 118.9, cement coated Portland cement panels, 5/8 inch nominal. Trim Accessories: 	 Carpet Cushions: Match existing, for moderate to heavy traffic. Auxiliary Materials: 	7. Do not cut structural elements without prior written approval.
Locksets and Latchsets: Cylinder type. Locksets and Latchsets: Mortise type.	a. Material: Metal.b. Types: Cornerbead, edge trim, and control joints.	 a. Edge guards. b. Adhesives, cements and fasteners. 	Submittals:
Lock Cylinders: Integral type. Keying: As required by Owner.	 c. Decorative Profiles: Aluminum reveals and channels. 6. Steel Framing for Walls and Partitions: 	5. Carpet Installation Method to match existing: a. Direct glue down installation.	 Submit product data, warranties, operating and maintenance data. Submit signed and sealed shop drawings for review and as required for
Keying: Match existing keying and key control system. Hinges and Butts: Full mortise type with nonremovable pins at security doors; continuous hinges at entrances.	 a. Steel Studs and Runners: ASTM C 645, 20 gage (.0329 inch). b. Furring Channels: ASTM C 645, 20 gage (.0329 inch). 	 b. Double glue down installation. c. Tackless mounting with carpet cushion installation. 	Products:
Closers: High frequency type. Exit Devices: High frequency type.	c. Auxiliary Framing Components: Furring brackets, resilient furring channels, Z furring members, and non corrosive fasteners.		 Provide new materials suitable for service intended complying with app Sprinkler Heads: to match existing
Hardware Finishes: Satin chrome and satin stainless steel. Door Trim Units: Kickplates, pulls.	 Installation Standard: ASTM C 754. Steel Framing for Suspended and Furred Ceilings: ASTM C 645, standard channels. 	 Comply with requirements of Section 011000 - Project Requirements. Install with tight seams and carpet grain running in same direction. 	3. Fire Alarm System: Integrated with fire detection, smoke detection, and
Stops: For each door; overhead door stops surface mounted and concealed types as applicable. Silencers: At all frames.	 a. Steel Studs: Match steel studs used for walls. b. Accessories: Hangers and inserts. 	 Provide cutouts for floor outlets and similar penetrations. Provide edge guards at change of flooring materials. 	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.
Accessory Hardware: a. Flush bolts with dustproof strikes, automatic door bottoms.	 c. Installation Standard: ASTM C 754. 8. Glass Reinforced Gypsum Fabrications: 	SECTION 090000 - PAINTING AND COATING	2. Comply with applicable codes, regulations, ordinances and requirement and NFPA 13, 13D, 13R, 26, 70 and 96 as applicable.
b. Soundstripping.c. Weatherstripping	 a. Gypsum: ASTM C 22. b. Glass Fibers: ASTM D 578, Type E glass. 		 Conceal piping to the greatest extent practical. Center ceiling mounted elements in center of ceiling tiles as applicable
d. Thresholds.	 c. Finish: Surface suitable for high gloss paint. 9. Auxiliary Materials: 	Summary: 1. Provide painting and surface preparation for interior and exterior unfinished surfaces as scheduled.	 Maintain indicated fire ratings of walls, partitions, ceilings, and floors at firestopping to maintain fire rating.
on: Comply with requirements of Section 011000 - Project Requirements.	a. Gypsum board screws, ASTM C 1002. b. Fastening adhesive.	 Provide painting and surface preparation of exposed mechanical and electrical piping, conduit, ductwork, and equipment. Describe analytical and surface preparation of exposed mechanical and electrical piping, conduit, ductwork, 	 Test all systems for proper operation, including backup and alarm syste Instruct Owner's personnel in proper operation of systems.
Comply with DHI "Recommended Locations for Builder's Hardware" and hardware manufacturers instructions. Hardware sets	 c. Concealed acoustical sealant. d. Mineral fiber sound attenuation blankets. 	 Provide repainting and surface preparation at areas of remodeling. Provide painting of entire surface where patch painting is required. 	SECTION 220000 - PLUMBING
N 085313 VINYL WINDOWS	e. Polyethylene vapor retarder, 6 mils, at exterior walls without air/vapor retarder.	Submittals:	Summary:
	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	1. Submit product data, samples, 4 foot by 4 foot mockup of each color, extra stock consisting of 1 unopened gallon of each type of paint used.	 Refer to Plumbing Drawings for Plumbing specifications and requireme Provide plumbing, waste, and vent systems for the following:
7. 1. Provide Vinyl double-hung and casement windows.	 Comply with requirements of Section 011000 - Project Requirements. Comply with standards referenced above and ASTM C 840 and GA 216. Install joints only over framing members. Do not allow butt to butt joints. 	Products:	a. Toilets and bathrooms. b. Kitchens.
s: Submit product data, samples, shop drawings, warranty, maintenance data.	 Provide blocking for items such as railings, grab bars, casework, toilet accessories, and similar items. Provide acoustical sealant at runner tracks, wall perimeters, openings, expansion, and control joints. 	 Products: As selected by Architect complying with the following. Regulations: Compliance with VOC and environmental regulations. 	c. Water heaters. d. Floor drains.
	 Install gypsum board assemblies true, plumb, level and in proper relation to adjacent surfaces7. Where new partitions meet existing construction, remove existing cornerbeads to provide smooth transition. 	4. Schedule.	e. Meters. f. Tying and connecting into existing systems.
: Products: Pella. 350 Series Vinyl Window, 6/6 lite double hung, 6 lite casement or as drawn, space bar between Argon filled Low-E glass. White	 Provide 3 coat joint treatment such that, after finishing, joints are not visible. a. Sand and leave ready for finish painting and wall treatment. 	a. Gypsum board and plaster walls, eggshell finish, 1 coat latex primer and 2 coats latexb. Gypsum board and plaster ceilings, flat finish, 1 coat latex primer and 2 coats latex finish.	 g. Water leak detection system in laundry 3. Provide water supply and distribution system sized for domestic and sp
Glass: a. Primary Glass Products: Clear float, tinted float, patterned, and wire glass, ASTM C	SECTION 092120 - GYPSUM BOARD SHAFT WALL ASSEMBLIES	c. Gypsum board in bathrooms, kitchens and wet areas, semigloss finish, 1 coat latex primer, 2 coats alkyd finish.d. Ferrous metals, semigloss finish, 1 coat primer, 2 coats alkyd enamel.	 Provide natural gas distribution system piping, specialties, and accesso Provide sewerage and drainage systems, specialties, and accessories.
 a. Thinking Glass Froducts: Clear hoat, timed hoat, patterned, and wire glass, AS fin C 1036. b. Heat Treated Glass Products: Heat strengthened, tempered, coated, and spandrel 		 e. Galvanized metal, semigloss finish, 1 coat galvanized metal primer, 2 coats alkyd enamel. f. Wood for transparent finish, site refinishing, match existing gloss, 2 coats polyurethane. 	 Modify, relocate and extend existing service to accommodate new wor Coordinate with Owner's room uses to provide adequate system for all
glass, ASTM C 1048. c. Laminated Glass Units: Polyvinyl butyral interlayer.	Summary: 1. Provide gypsum board shaft wall assemblies.	g. Wood for opaque finish, site refinishing, match existing gloss, 1 coat alkyd finish.	8. Do not cut structural elements without prior written approval.
d. Dual Sealed Insulating Glass Units: ASTM E 774, Class A.	Submittals:	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	Submittals: 1. Submit product data, piping types by application, warranties, operating
e. High Performance Coatings: Low e (low emissivity) type. a. "SunDefense" Low-E coated, with argon.	1. Submit product data.	 Provide field applied mock ups of each color and finish selected on actual surfaces to be painted. Test sample area for adhesion for each type of paint. 	2. Submit signed and sealed shop drawings for review and as required for
Glazing: Elastomeric glazing sealant glazing or preformed glazing tape; setting blocks, spacers, and compressible filler rods.	Products: 1. Products: As selected by Architect complying with the following.	 Remove cover plates and protect hardware and adjacent surfaces. Sand before painting until smooth and flat and sand between coats. 	Products: 1. Provide new materials suitable for service intended complying with app
Frame: Interior and Exterior Frame Surfaces: Extruded, rigid, polyvinyl chloride (PVC) complying with AAMA 303, having minimum ignition temperature 824 degrees F. when tested in accordance with ASTM D	 Cavity Shaft Wall Assemblies: a. Shaftwall Board Thickness: Not less than 1 inch. 	 Apply paint to achieve manufacturer's recommended dry film thicknesses. Paint entire surface where patch painting is required. 	materials such as hangers and pipe insulation. Provide fixtures complying accessibility requirements.
1929 Overall Frame Depth: 4-1/2 inches. Frame Members: Mitered and heat fused to provide fully welded corner assembly with "SmoothSeam"	 b. Studs: I, C H or double E studs, not less than, 20 gage (.0329 inch). 3. Gypsum Board Shaft Wall Materials: 	 Recoat areas which show bleed through or defects. Clean paint spatter from adjacent surfaces and glass. 	
virtually invisible interior corner welds. Sill: Fitted with weeps.	a. Steel Framing: ASTM C 645.b. Gypsum Shaftwall Board: ASTM C 442, Type X.	10. Touch up damaged surfaces at completion of construction.	1. Comply with requirements of Section 011000 - Project Requirements.
Sash: Extruded, rigid, PVC with foam insulation complying with AAMA 303, having minimum ignition temperature 824 degrees F. when tested in accordance with ASTM D 1929. Mitered and heat fused to provide fully welded	 c. Gypsum Wallboard: ASTM C 36, Type X. d. Water Resistant Gypsum Backing Board: ASTM C 630, Type X. 	SECTION 101400 - SIGNAGE	 Comply with applicable codes, regulations, ordinances and requirement fixtures. Conceal piping to the greatest extent practical
corner assembly with "SmoothSeam" virtually invisible interior corner welds. Integral extruded sash lift Contains sealed insulating glass.	 e. Gypsum Wallboard Joint Treatment Materials: ASTM C 475 and ASTM C 840. 4. Auxiliary Materials: 	Summary: 1. Provide interior building signage to comply with code and accessibility regulations.	 Conceal piping to the greatest extent practical. Maintain indicated fire ratings of walls, partitions, ceilings, and floors a maintain fire rating
Wet glazed with polyurethane-reactive hotmelt. Hardware:	a. Cornerbeads, edge trim, and control joints.b. Laminating adhesive.	 Provide interior building signage to comply with code and accessibility regulations. Provide exterior building signage as indicated on drawings. 	maintain fire rating. 5. Test all systems for proper operation.
a. Balances: Galvanized steel block-and-tackle balances connected to sash with polyester cord and concealed within frame.	 c. Gypsum board screws, ASTM C 1002. d. Concealed acoustical sealant. 	Submittals: 1. Submit product data, samples.	6. Instruct Owner's personnel in proper operation of systems.
b. Locks: Factory-installed, zinc-die-cast, self-aligning, cam-action locks located on check rail. c Sash Locks: Two sash locks installed on windows with minimum of 29-1/2 inches frame width.	e. Mineral fiber sound attenuation blankets.	Products:	Fixture Schedule: 1. Refer to Plumbing Drawings for Plumbing specifications and requirem
d. Tilt Latches: Factory-installed, zinc-die-cast, located on check rail of lower sash and the top rail of the upper sash.	Installation: 1. Comply with requirements of Section 011000 - Project Requirements.	1. Products: As selected by Architect complying with the following.	SECTION 230000 - HEATING, VENTILATING AND AIR CONDITIONING
e. Fasteners: Corrosion-resistant, PVC-compatible material. f. Hardware Finish: Oil-Rubbed Bronze.	SECTION 093000 - TILING	 Panel Signs: Unframed. Materials: Aluminum. Conv: Raised text Prolife and English 	Summary:
Grills: Between the glass a. Insulating glass contains aluminum grilles permanently installed between 2 panes of glass. 3/4"	Summary:	 Copy: Raised text, Braille and English Dimensional Letters and Numbers: Fabricated solid stock, aluminum. 	 All mechanical systems to be design-build. Verify system requirements Provide Daikin ductless heat pump AC system or approved equal.
b.Pattern: Traditional: Both sash Number of Lites: 6/6 for double hung; 6 for casment.	1. Provide tile for the following applications: a. Wall tile over gypsum wallboard.	Installation:	 Provide equipment, systems, and controls for heating, ventilation, and Modify, relocate and extend existing service to accommodate new wor
c. Color: white, interior and exterior	 b. Wall tile over tile backer board at wet areas. c. Floor tile over plywood and wood decking. 	 Comply with requirements of Section 011000 - Project Requirements. Materials and Finishes: Material and Finishes: 	 Coordinate location of ductwork to avoid interference with location of d Do not cut structural elements without prior written approval.
n: Comply with requirements of Section 011000 - Project Requirements.	Submittals:	a. Material and Finish: Stainless steel, No. 4 finish.b. Baked Enamel on Steel: Factory applied finish from manufacturers full line of colors.	Design Conditions:
American Architectural Manufacturers Association (AAMA): a. AAMA 450 - Voluntary Performance Rating Method for Mulled Fenestration Assemblies. b AAMA 502 -	1. Submit product data, samples, 4 foot by 4 foot mockup.	Installation:	1. Provide : high-efficiency ductless A/C system; 9K BTU head installed room. Line sets to be connected to condensers (verify location).
Voluntary Specification for Field Testing of Newly Installed Fenestration Products. c. AAMA 613 - Voluntary Performance Requirements and Test Procedures for Organic C oatings on Plastic	Products: 1. Products: As selected by Architect complying with the following.	1. Comply with requirements of Section 011000 - Project Requirements.	 a. Systems: Heating and cooling. 2. Provide (1) HRV unit as required for common area fresh air exchange
Profiles.	2. Tile Materials: ANSI A 118 series standard specifications.	SECTION 104400 - FIRE PROTECTION SPECIALTIES	 Provide exhaust in bathroom, Panasonic "Whisper Green" or equal with Provide 4" dryer solid metal exhaust vent to exterior.
ASTM International (ASTM):	 Floor Tiles Type 1 (CT-1): 12 in. by 12 in. and 6 in. by 6 in., matter finish. Minimum three colors in patterns as indicated on the Drawings. Well Tiles Type 2 (CT-2): 4 in. by 5/15 inch. globe finish. Brouide three color rendem, been color and 20% 	Summary: 1. Provide fire extinguishers and cabinets	 Provide 4" microwave exhaust to exterior per manufacturer. Utility Service: match existing
a. ASTM C1036 - Standard Specification for Flat Glass. b. ASTM C1048 - Standard Specification for Heat-Strengthened and Fully Tempered Flat Glass.	 Wall Tiles Type 2 (CT-2): 4 in. by 4 in. by 5/15 inch, gloss finish. Provide three color random base color and 30% accent color. Tile Accentation 	a. Fire extinguishers.b. Fire extinguisher cabinets at public areas.	Submittals:
c. ASTM E90 - Standard Test Method for Laboratory Measurement of Airborne Sound Transmission Loss of Building Partitions and Elements.	5. Tile Accessories: a. Matching trim units.	c. Fire extinguisher mounting brackets at service areas.	1. Submit product data, warranties, operating and maintenance data, bal
d. ASTM E1105 - Standard Test Method for Field Determination of Water Penetration of Installed Exterior Windows, Skylights, Doors, and Curtain Walls, by Uniform or Cyclic Static	 b. Marble thresholds. 6. Setting Materials: Latex Portland cement mortar, ANSI A118.4. 	Submittals: 1. Submit product data.	Products: 1. Provide new materials suitable for service intended complying with app
	 Grout: Latex Portland cement grout, ANSI A118.7. Setting Accessories: 	Products:	1. Provide new materials suitable for service intended complying with app items such as controls, anchors and insulation.
	a. Membrane waterproofing under tile.b. Cementitious tile backer board.	1. Products: As selected by Architect complying with the following.	Installation:
	D. Cementitious tile backer board.	2. Standards: UL and FM listed products.	1. Comply with requirements of Section 011000 - Project Requirements.

3.	Fire Extinguishers: a. Type: Stored pressure water. b. Type: Multipurpose dry chemical.
4.	c. Rating: Sized for project requirements. Cabinets:
	a. Mounting: Match existing. b. Trim: Match existing.
	c. Doors: Match existing.d. Door Style: Match existing.
	e. Accessories: Match existing.
nstalla	tion: Comply with requirements of Section 011000 - Project Requirements.
SECTI Summa	ON 113100 - APPLIANCES
1.	 Provide kitchen area appliances. a. 30" Ranges, electric, stainless steel, slide-in
	 b. Refrigerators, stainless steel, French door with ice maker – 33 c. Microwave oven/hood combination, stainless steel, exhaust to
	with range d. Dishwashers, stainless steel exterior & interior e. Electric washer and dryer (white), front-loading
Submit 1.	tals: Submit product data, shop drawings, warranty, maintenance data.
r. Produc	ts:
1. Installa	Products: As selected by Architect.
1.	Comply with requirements of Section 011000 - Project Requirements.
SECTI Summa	ON 210000 - FIRE SUPPRESSION
1. 2.	Refer to Fire Protection Drawings for fire protection specifications and rec Provide fire protection systems for the following:
	a. Sprinkler system.b. Fire and smoke detection system.
3.	 c. Fire alarm system. d. Standpipe system. Modify, relocate and extend existing service to accommodate new work.
	stem. Provide concealed flush mounted heads at acoustical ceilings. Maintain fire alarm system in operation during construction.
+. 5. 6.	Coordinate with Owner's room uses to provide adequate system for all co Coordinate location of fire protection systems to avoid interference with lo
	ocations. Do not cut structural elements without prior written approval.
Submit 1.	
1. 2.	Submit product data, warranties, operating and maintenance data. Submit signed and sealed shop drawings for review and as required for b
^{>} roduc 1.	Provide new materials suitable for service intended complying with appro
<u>2</u> . 3.	Sprinkler Heads: to match existing Fire Alarm System: Integrated with fire detection, smoke detection, and s
nstalla 1.	tion: Comply with requirements of Section 011000 - Project Requirements.
2.	Comply with applicable codes, regulations, ordinances and requirements PA 13, 13D, 13R, 26, 70 and 96 as applicable.
3. 4.	Conceal piping to the greatest extent practical. Center ceiling mounted elements in center of ceiling tiles as applicable.
5.	Maintain indicated fire ratings of walls, partitions, ceilings, and floors at performing to maintain fire rating.
6. 7.	Test all systems for proper operation, including backup and alarm system Instruct Owner's personnel in proper operation of systems.
SECTI	ON 220000 - PLUMBING
Summa 1.	ary: Refer to Plumbing Drawings for Plumbing specifications and requirements
<u>2.</u>	Provide plumbing, waste, and vent systems for the following: a. Toilets and bathrooms.
	b. Kitchens. c. Water heaters.
	d. Floor drains. e. Meters.
	f. Tying and connecting into existing systems.g. Water leak detection system in laundry
3. 4.	Provide water supply and distribution system sized for domestic and sprir Provide natural gas distribution system piping, specialties, and accessorie
5. 6.	Provide sewerage and drainage systems, specialties, and accessories. Modify, relocate and extend existing service to accommodate new work.
5. 7. 8.	Coordinate with Owner's room uses to provide adequate system for all co Do not cut structural elements without prior written approval.
Submit 1.	tals: Submit product data, piping types by application, warranties, operating ar
2.	Submit signed and sealed shop drawings for review and as required for b
Produc 1. motoric	ts: Provide new materials suitable for service intended complying with appro Is such as hangers and pipe insulation. Provide fixtures complying
	ibility requirements.
Installa 1.	Comply with requirements of Section 011000 - Project Requirements.
2. fixtures	
3. 4.	Conceal piping to the greatest extent practical. Maintain indicated fire ratings of walls, partitions, ceilings, and floors at pre-
maintai 5. 6.	n fire rating. Test all systems for proper operation.
	Instruct Owner's personnel in proper operation of systems. Schedule:
1.	Refer to Plumbing Drawings for Plumbing specifications and requiremen
	ON 230000 - HEATING, VENTILATING AND AIR CONDITIONING
Summa 1.	All mechanical systems to be design-build. Verify system requirements w
2. 3.	Provide Daikin ductless heat pump AC system or approved equal. Provide equipment, systems, and controls for heating, ventilation, and ce
4. 5. 6	Modify, relocate and extend existing service to accommodate new work. Coordinate location of ductwork to avoid interference with location of des
6. Design	Do not cut structural elements without prior written approval. Conditions:
1.	Provide : high-efficiency ductless A/C system; 9K BTU head installed in e ine sets to be connected to condensers (verify location).
<u>2.</u>	a. Systems: Heating and cooling. Provide (1) HRV unit as required for common area fresh air exchange an
2. 3. 4.	Provide exhaust in bathroom, Panasonic "Whisper Green" or equal with 4 Provide 4" dryer solid metal exhaust vent to exterior.
4. 5. 6	Provide 4 "dryer solid metal exhaust vent to exterior. Provide 4" microwave exhaust to exterior per manufacturer. Utility Service: match existing
o Submit	
1.	Submit product data, warranties, operating and maintenance data, baland
Produc	Provide new materials suitable for service intended complying with appro
iems s	uch as controls, anchors and insulation.

		SSC d Planning
 Fire Extinguishers: a. Type: Stored pressure water. 	2. Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction and SMACNA recommendations.	as - Land 01810
b. Type: Multipurpose dry chemical.c. Rating: Sized for project requirements.	 Conceal piping and ductwork to the greatest extent practical. Center ceiling mounted elements in center of ceiling tiles as applicable. 	GTS S, Inc Interiors - I ver, MA 01 '8-470-3670
4. Cabinets: a. Mounting: Match existing.	5. Maintain indicated fire ratings of walls, partitions, ceilings, and floors at penetrations. Seal with firestopping to maintain fire rating.	8- gi lpt No.
b. Trim: Match existing. c. Doors: Match existing.	 Insulate piping and ductwork. Provide vapor barrier on insulated piping operating below 60 degrees F. Test all systems for proper operation. 	Andov F. 97 Et. 97
d. Door Style: Match existing.e. Accessories: Match existing.	 8. Commission and balance systems. 9. Instruct Owner's personnel in proper operation of systems. 	La cociato bociato astroneers ast
Installation:	SECTION 260000 - ELECTRICAL	ASS ASS ASS ASS ASS AFT ASS ASS ASS ASS ASS ASS ASS ASS ASS AS
1. Comply with requirements of Section 011000 - Project Requirements.	Summary:	$\frac{1}{2} \sqrt{\frac{1}{2}} \sqrt{\frac{1}{2}}$
SECTION 113100 - APPLIANCES	 Refer to Electrical Drawings for electrical specifications and requirements. Provide electrical systems for the following: 	
Summary: 1. Provide kitchen area appliances.	a. Power.b. Lighting, interior and exterior.	STERED ARCHIN
 a. 30" Ranges, electric, stainless steel, slide-in b. Refrigerators, stainless steel, French door with ice maker – 33" max. width 	c. Exit lighting. d. Emergency lighting.	ALL ANE 11. P (C.
c. Microwave oven/hood combination, stainless steel, exhaust to exterior, coordinates with range	 e. Power, telephone, cable TV and data outlets and wiring. f. Door video intercom and release System. Provide hard wire electronic strike and key 	8 No. 20010
 d. Dishwashers, stainless steel exterior & interior e. Electric washer and dryer (white), front-loading 	fob entry system for entrances at Stair #1 and Stair #2. Video intercom terminal at each residential unit. Fail-safe feature. (software and final connection by	SALEM.
Submittals:	security vendor). 3. Modify, relocate and extend existing service to accommodate new work.	THOF MASSIC
1. Submit product data, shop drawings, warranty, maintenance data.	 Relamp existing fixtures consistent with building standards. Maintain fire alarm system in operation during construction. Note: existing fire alarm panel accessed 	
Products: 1. Products: As selected by Architect.	through CVS. Located in Mechanical Room.6. Coordinate location of ductwork and fire protection systems to avoid interference with location of	
nstallation:	designated lighting fixture locations.7. Coordinate schedule of telephone and data outlet completion with Owner's communications requirements	
I. Comply with requirements of Section 011000 - Project Requirements.	and installer as applicable.8. Do not cut structural elements without prior written approval.	
SECTION 210000 - FIRE SUPPRESSION	Submittals:	
Summary: I. Refer to Fire Protection Drawings for fire protection specifications and requirements.	 Submit product data, warranties, operating and maintenance data, circuit diagrams. Submit signed and sealed shop drawings for review and as required for building permit 	
 Provide fire protection systems for the following: a. Sprinkler system. 	Products:	
 b. Fire and smoke detection system. c. Fire alarm system. 	 Refer to Electrical Drawings for electrical requirements. Provide new materials suitable for service intended complying with approved submittals. Provide 	
 d. Standpipe system. Modify, relocate and extend existing service to accommodate new work. Relocate existing heads as required for 	 accessories such as controls, cover plates, and connections to equipment. Finish as selected by Architect. Provide emergency or alternate power source for exit and emergency lighting systems. 	
new system. Provide concealed flush mounted heads at acoustical ceilings. Maintain fire alarm system in operation during construction.	Installation:	
 Maintain file alarm system in operation during construction. Coordinate with Owner's room uses to provide adequate system for all contract areas. Coordinate location of fire protection systems to avoid interference with location of designated lighting 	Comply with requirements of Section 011000 - Project Requirements. Comply with applicable codes, regulations, ordinances and requirements of authorities having	
ixture locations. 7. Do not cut structural elements without prior written approval.	 Comply with applicable codes, regulations, ordinances and requirements of authonities naving jurisdiction and National Electrical Code. Provide core drilling as required for new work. 	.
. Do not cut structural elements without prior written approval.	 Provide core drilling as required for new work. Conceal conduit to the greatest extent practical. Center ceiling mounted elements in center of ceiling tiles as applicable. 	<u></u> ₩
. Submit product data, warranties, operating and maintenance data. Submit signed and sealed shop drawings for review and as required for building permit.	 Center centing mounted elements in center of centing ties as applicable. Install light switches at uniform height above finished floor. Locate switches within rooms at strike side of door unless noted otherwise. 	ETOWN AIL Georgetown, ma
roducts:	 Install thermostats centered above light switches where applicable. Gang mount multiple switching locations. Mount multiple types of controls as close together as 	
Provide new materials suitable for service intended complying with approved submittals. Sprinkler Heads: to match existing	 9. Group multiple junction boxes, telephone and electrical outlets together on walls. Avoid back to back 	
Sprinkler Heads: to match existing Fire Alarm System: Integrated with fire detection, smoke detection, and sprinkler systems.	 9. Group multiple junction boxes, telephone and electrical outlets together on walls. Avoid back to back box locations. 10. Mount electrical, data, and telephone outlets vertically, at uniform height above finished floor unless 	
stallation: Comply with requirements of Section 011000 - Project Requirements.	 Mount electrical, data, and telephone outlets vertically, at uniform height above finished floor unless noted otherwise. Maintain indicated fire ratings of walls, partitions, ceilings, and floors at penetrations. Seal with firestopping 	
Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction,	to maintain fire rating.	
nd NFPA 13, 13D, 13R, 26, 70 and 96 as applicable. Conceal piping to the greatest extent practical.	 Test all systems for proper operation. Label circuits in electrical panels. Instruct Owner's personnel in preper operation of systems. 	
 Center ceiling mounted elements in center of ceiling tiles as applicable. Maintain indicated fire ratings of walls, partitions, ceilings, and floors at penetrations. Seal with 	14. Instruct Owner's personnel in proper operation of systems.	
firestopping to maintain fire rating. Test all systems for proper operation, including backup and alarm systems.	GENERAL NOTES	
Instruct Owner's personnel in proper operation of systems.	1. BETWEEN COMMERCIAL AND RESIDENTIAL DWELLING UNITS IS A 1HR FIRE-RATED SEPARATION.	
SECTION 220000 - PLUMBING	2. MULTIFAMILY RESIDENTIAL CONSTRUCTION ABOVE COMMERCIAL IS TYPE VB	65
Summary: I. Refer to Plumbing Drawings for Plumbing specifications and requirements.	CONSTRUCTION.	
 Provide plumbing, waste, and vent systems for the following: a. Toilets and bathrooms. 	3. FIRE SEPARATION BETWEEN DWELLING UNITS IS 1-HR FIRE RATING - WALL AND FLOOR/CEILING ASSEMBLIES	N N
 b. Kitchens. c. Water heaters. d. Eloor drains 	THERMAL ENVELOPE:	<u> й</u>
 d. Floor drains. e. Meters. f. Tying and connecting into existing systems. 	1. EXTERIOR AIR BARRIER MEMBRANE TO BE CONTINUOUS WITH ANY JOINTS AND DENETRATIONS SEALED AS DED MANUEACTURED'S DECUMPEMENTS	11 I I I
 f. Tying and connecting into existing systems. g. Water leak detection system in laundry Provide water supply and distribution system sized for domestic and sprinkler systems. 	PENETRATIONS SEALED AS PER MANUFACTURER'S REQUIREMENTS.	
. Provide natural gas distribution system piping, specialties, and accessories.	2. EXTERIOR WINDOWS AND DOORS SHALL MEET CODE REQUIRED AIR LEAKAGE, U-FACTORS, SHGC VALUES AS REQUIRED AND SHIPPED TO SITE LABELED WITH INFORMATION FOR INSPECTION.	
 Provide sewerage and drainage systems, specialties, and accessories. Modify, relocate and extend existing service to accommodate new work. Coordinate with Owner's ream uses to provide adequate system for all contract areas. 		
 Coordinate with Owner's room uses to provide adequate system for all contract areas. Do not cut structural elements without prior written approval. 	3. ALL SOURCES OF AIR LEAKAGE IN THE BUILDING ENVELOPE TO BE SEALED, CAULKED, GASKETED, WEATHER STRIPPED, OR WRAPPED IN VAPOR PERMEABLE MEMBRANE AS	
Submittals:	NECESSARY TO MAINTAIN A CONTINUOUS AIR BARRIER AT THE BUILDING ENVELOPE.	
 Submit product data, piping types by application, warranties, operating and maintenance data. Submit signed and sealed shop drawings for review and as required for building permit. 	4. ANY RECESSED LIGHTING IN BUILDING ENVELOPE TO BE IC RATED AND LABELED WITH SEAL BETWEEN HOUSING AND INTERIOR FINISH.	
Products:	5. PROVIDE AIR SEAL AROUND ALL WINDOW AND DOOR PENETRATIONS IN EXTERIOR WALL.	
. Provide new materials suitable for service intended complying with approved submittals. Provide accessory naterials such as hangers and pipe insulation. Provide fixtures complying with water consumption requirements and provide fixture	6. PROVIDE LIQUID MEMBRANE AT EDGES OF ALL LAP MEMBRANE FLASHINGS.	
accessibility requirements.	7. PROVIDE METAL THRU-WALL FLASHINGS AND MEMBRANE LAP FLASHING OVER METAL	For: CPI FUNDS Approver
nstallation: . Comply with requirements of Section 011000 - Project Requirements.	FLASHING AT ALL EXT. MATERIAL TRANSITIONS AND AS SHOWN ON DWGS.	
. Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction. Vent all stures.	8. PROVIDE MANUFACTURER APPROVED FLASHINGS, BOOTS, PITCH POCKETS AT PENETRATIONS THROUGH ROOF.	Prepared location: title SPE
Conceal piping to the greatest extent practical. Maintain indicated fire ratings of walls, partitions, ceilings, and floors at penetrations. Seal with firestopping to	9. ALL PENETRATIONS THROUGH EXTERIOR ENVELOPE FINISH MATERIAL TO RECEIVE JOINT	
naintain fire rating. Test all systems for proper operation.	SEALANT AND BACKER ROD.	JDLAI 2018 ©
Instruct Owner's personnel in proper operation of systems.	10. MAXIMUM AIR INFILTRATION RATE FOR BUILDING ENVELOPE SHALL BE 0.20 cfm/sf .	ALL PLANS, SPECIFICATIONS AND IDEAS ARE THE PROPERTY OF JDLAI. RIGHTS OF USE ARE
ixture Schedule: . Refer to Plumbing Drawings for Plumbing specifications and requirements.	INTERIOR THERMAL BARRIER:1.PROVIDE NECESSARY SEALANT AT ALL DEMISING PARTITIONS WHERE PENETRATIONS OCCUR.	CONDITIONAL AND ARE GRANTED UNDER FULL COMPENSATION AND LIMITED TO A ONE-TIME USE
ECTION 230000 - HEATING, VENTILATING AND AIR CONDITIONING	2. PROVIDE GASKET, SEAL AND INSULATION AS REQUIRED AT DEMISING PARITION OPENINGS TO ENSURE BLOWER DOOR TEST MIINIMUM REQUIREMENT FOR AIR SEAL IS MET.	TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WORK
ummary:		AND ANY DERIVATIVE WORK COVERED UNDER THIS COPYRIGHT FOR OTHER
All mechanical systems to be design-build. Verify system requirements wiht licensed mechnial contractor. Provide Daikin ductless heat pump AC system or approved equal.	FIRE RATING PENETRATIONS:	PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE
Provide equipment, systems, and controls for heating, ventilation, and central air conditioning. Modify, relocate and extend existing service to accommodate new work.	1. ALL PENETRATIONS THROUGH FIRE-RATED FLOOR/CEILING, ROOF/CEILING, AND WALL ASSEMBLIES TO HAVE EQUIVALENT PENETRATION FIRESTOPPING ASSEMBLY PER TYPE	PLANS FOR ANY OTHER CONSTRUCTION OR PERMIT APPLICATION IS STRICTLY
Coordinate location of ductwork to avoid interference with location of designated lighting fixture locations. Do not cut structural elements without prior written approval.	OF PENETRATION.	PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF JDLAI.
esign Conditions:	DWELLING UNITS:	
Provide : high-efficiency ductless A/C system; 9K BTU head installed in each bedroom and in living nom. Line sets to be connected to condensers (verify location).	1. ALL DWELLING UNITS ARE GROUP-1 ACCESSIBLE AND TO COMPLY PER 521 CM	
a. Systems: Heating and cooling. Provide (1) HRV unit as required for common area fresh air exchange and depressurization. (verify location)	REQUIREMENTS - DRAWING SHOW REQUIREMENTS BUT MAY NOT SHOW EVERY CONDITION. GENERAL CONTRACTOR HAS RESPONSIBILITY TO COMPLY WITH 521 CMR GROUP 1 DWELLING	
 Provide exhaust in bathroom, Panasonic "Whisper Green" or equal with 4" solid metal exhaust to exterior. Provide 4" dryer solid metal exhaust vent to exterior. 	UNIT REQUIREMENTS - KITCHENS, BATHROOMS, CLEARANCES, CONTROL MOUNTING HEIGHTS, ETC.	
 Provide 4" microwave exhaust to exterior per manufacturer. Utility Service: match existing 	2. GENERAL CONTRACTOR SHALL REVIEW AND VERIFY WITH THE OWNER AND ARCHITECT THE	
	FINAL FINISH PACKAGES DESIRED FOR EACH INDIVIDUAL UNIT.	Mark Date
. Submit product data, warranties, operating and maintenance data, balancing reports.	3. EACH UNIT TO BE PROVIDED WITH EGRESS WINDOW. CLEAR OPENING TO BE PROVIDED: 20"W X 24" H WITH A MINIMUM OF 5.7 SQ. FT. THE WINDOW SILL MAXIMUM SHOULD BE NO MORE THAN 44"	Revisions
Products:	FROM FINISH FLOOR.	16 OCTOBER 2018
Provide new materials suitable for convice intended complying with expressed above devices. Provide		1/4" = 1'-0"
1. Provide new materials suitable for service intended complying with approved shop drawings. Provide accessory tems such as controls, anchors and insulation.		2702
items such as controls, anchors and insulation.	SECURITY AND BUILDING ACCESS	Sheet No.
tems such as controls, anchors and insulation.	SECURITY AND BUILDING ACCESS 1. OWNER AND PROPERTY MANAGER TO CONTRACT WITH SECURITY COMPANY FOR DESIRED SECURITY DEVICES - CARD READERS, KEY FOBS, AND/OR CAMERA'S AND HEAD END EQUIPMENT (DVR HARDWARE AND ACCESS CONTROL SOFTWARE. CONTRACTOR TO PROVIDE HARDWIRE FOR	2702







SITE IMPROVEMENT NOTES: 1. PROPOSED NEW SEPTIC FIELD AND ASSOCIATED SITE IMPROVEMENTS AS SHOWN, OTHERWISE ALL SITE CONDITIONS ARE EXISTING TO REMAIN. 2. EXTERIOR FINISHES AND SELECT DOORS AND WINDOWS TO BE REPLACED WITH NEW. 3. BUILDING LIGHTING TO BE REPLACED IN-KIND. SITE LIGHTING TO REMAIN AS EXISTING. SEE DUDTANETHICS ANALYSIS

SITE CHARACTERISTIC NOTES: 1. PERVIOUS AREA: IMPERVIOUS AND PERVIOUS AREAS REMAIN AS EXISTING. IMPERVIOUS LOT COVERAGE EXISTS AT: 66,239 SF (59%). LOT SIZE 111,968 SF. SITE WATER RUN-OFF REMAINS AS

2. STORMWATER DRAINAGE: EXISTING ROOF RUN-OFF REMAINS UNCHANGED. EXISTING GUTTER AND LEADER SYSTEM TO BE REPLACED IN-KIND. ADEQUATE ON-SITE DRAINAGE IS PROVIDED AND REMAINS UNAFFECTED. NOTE: DRAINAGE CALCULATION WAIVER IS REQUESTED FROM THE TOWN. 3. BUFFER ZONE: EXISTING BUFFER ZONE REQUIRED: 50'-0" BETWEEN COMMERCIAL/RESIDENTIAL. PROVIDED: 100'-0" +/-

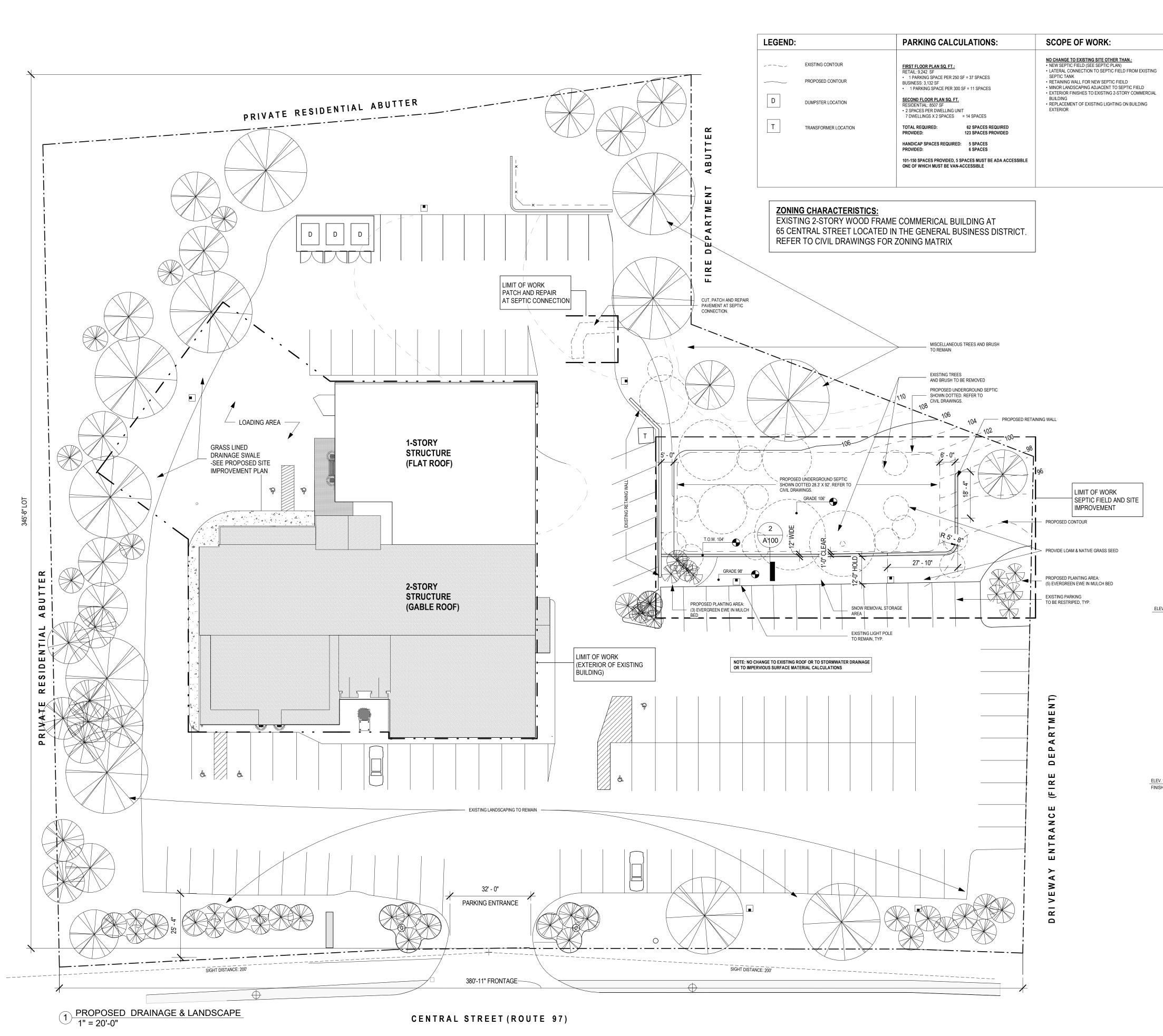
4. WETLANDS: WETLANDS OR FLOOD PLAINS AREAS DO NOT EXIST AT 65 CENTRAL STREET. 6. SITE LANDSCAPE: ALL LANDSCAPE IS EXISTING TO REMAIN EXCEPT AREA ADJACENT TO NEW

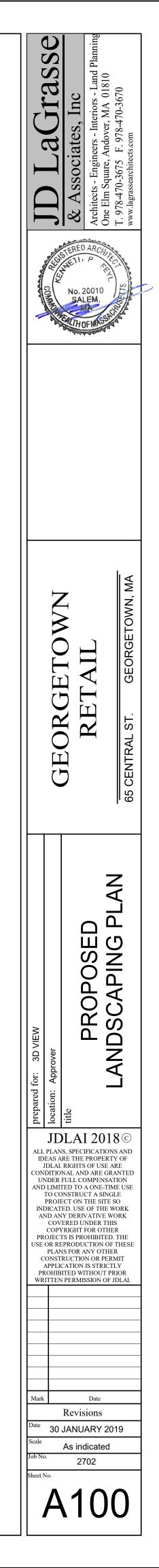
10. WATER CONSERVATION: LOW-FLUSH TOILETS, LOW-FLOW SHOWERHEADS, FAUCET AERATORS AND PRESSURE REDUCTION WHERE POSSIBLE ARE PROVIDED

11. EXTERIOR LIGHTING: BUILDING LIGHTING TO BE REPLACED IN-KIND. LIGHTING PROVIDES GENERAL ACCENT LIGHTS AND SECURITY. ALL NEW FIXTURES ARE NON-LED, ENERGY-CONSERVING AND PROTECT AGAINST TRESPASS AND GLARE. SEE PHOTOMETRICS ANALYSIS.

Se S JTa Inc 3 200 EORGETOWN RETAIL GE PROPOSED SITE UTILITIES & LIGHTING prepa locati title JDLAI 2018 ALL PLANS, SPECIFICATIONS AND IDEAS ARE THE PROPERTY OF JDLAI. RIGHTS OF USE ARE CONDITIONAL AND ARE GRANTED UNDER FULL COMPENSATION AND LIMITED TO A ONE-TIME USE TO CONSTRUCT A SPIGLE TO CONSTRUCT A SINGLE PROJECT ON THE SITE SO INDICATED. USE OF THE WORK AND ANY DERIVATIVE WORK COVERED UNDER THIS COPYRIGHT FOR OTHER PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR ANY OTHER CONSTRUCTION OR PERMIT APPLICATION IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF JDLAI. Mark Date Revisions 12 MARCH 2019 1" = 20'-0" 2702 G007







CUT AND REMOVE TOP 1/3

OF BURLAP ROOTBALL

3" BARK MULCH

PLANT SAUCER CONTINUOUS 4"

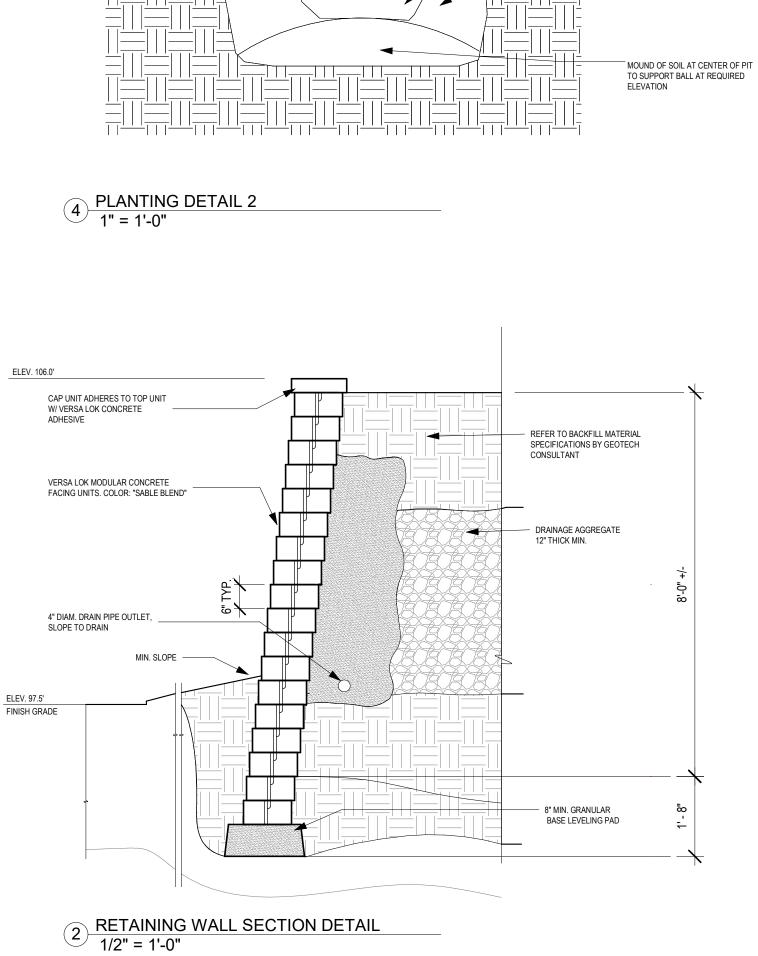
BURLAP ROOTBALL

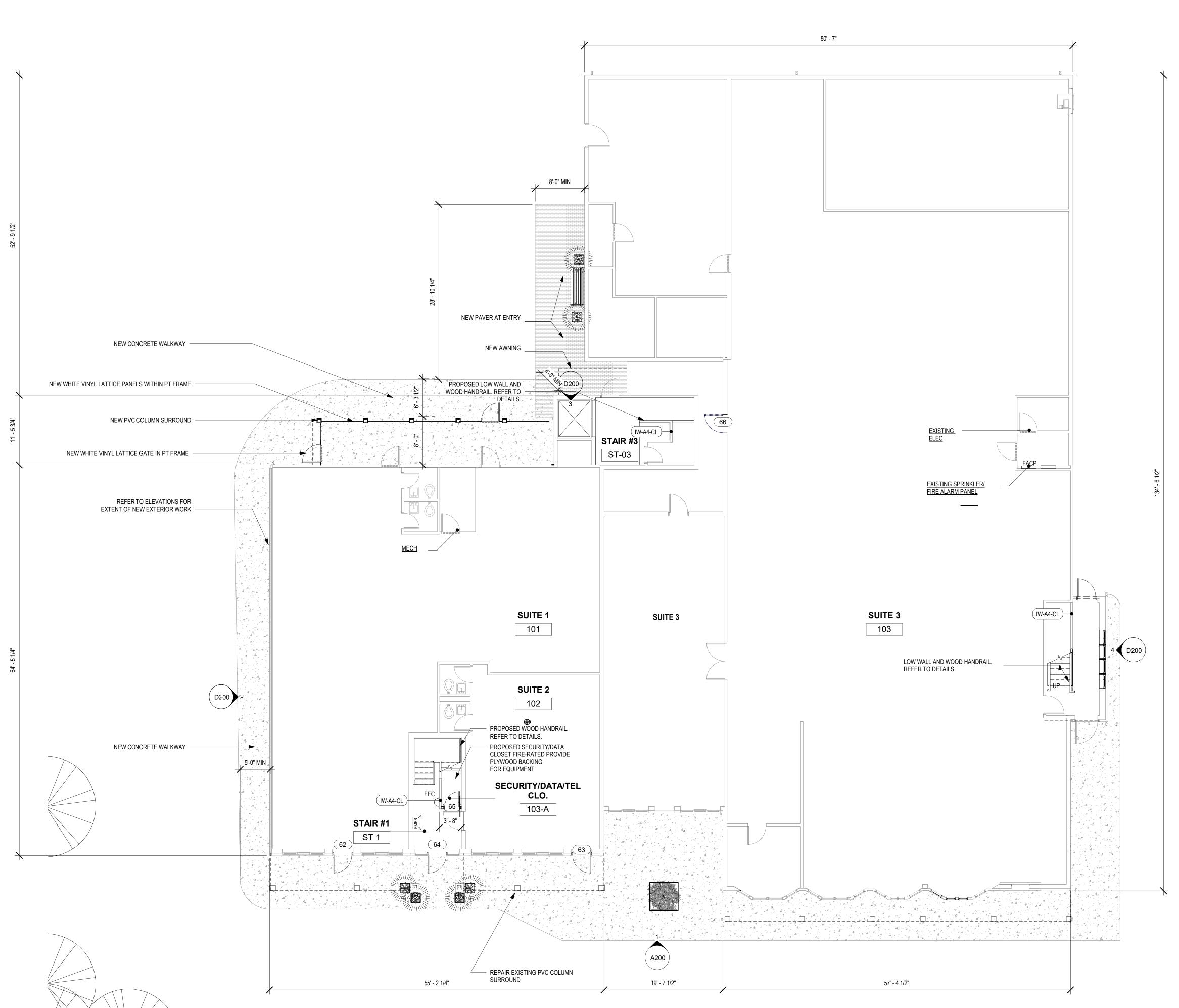
PLANTING SOIL MIX BACKFILL

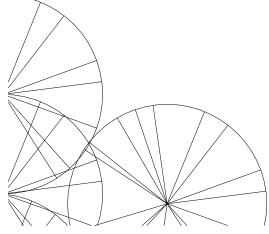
IN LOOSE LIFTS OF 6-8" DEPTH SETTLE LIFT W/ THOROUGH

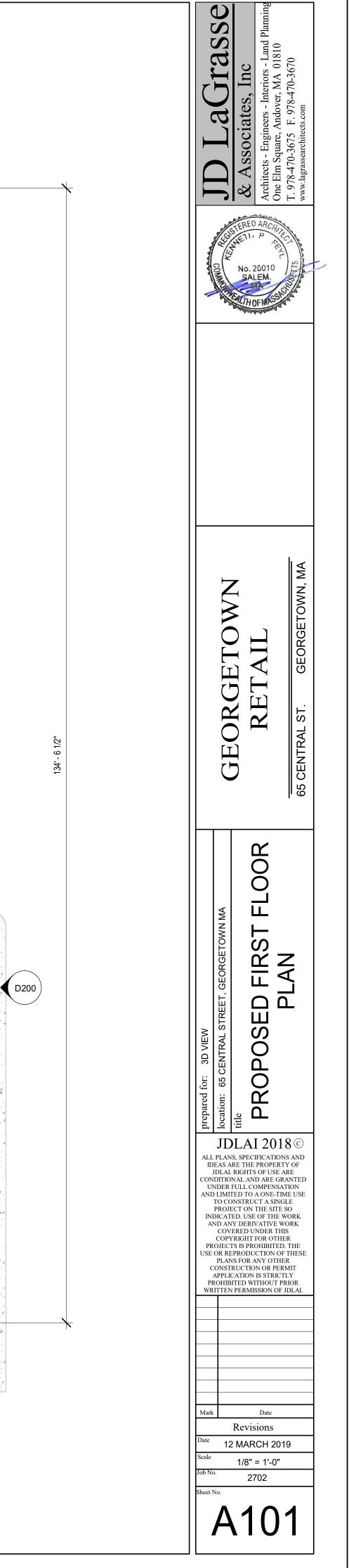
WATER SOAKING

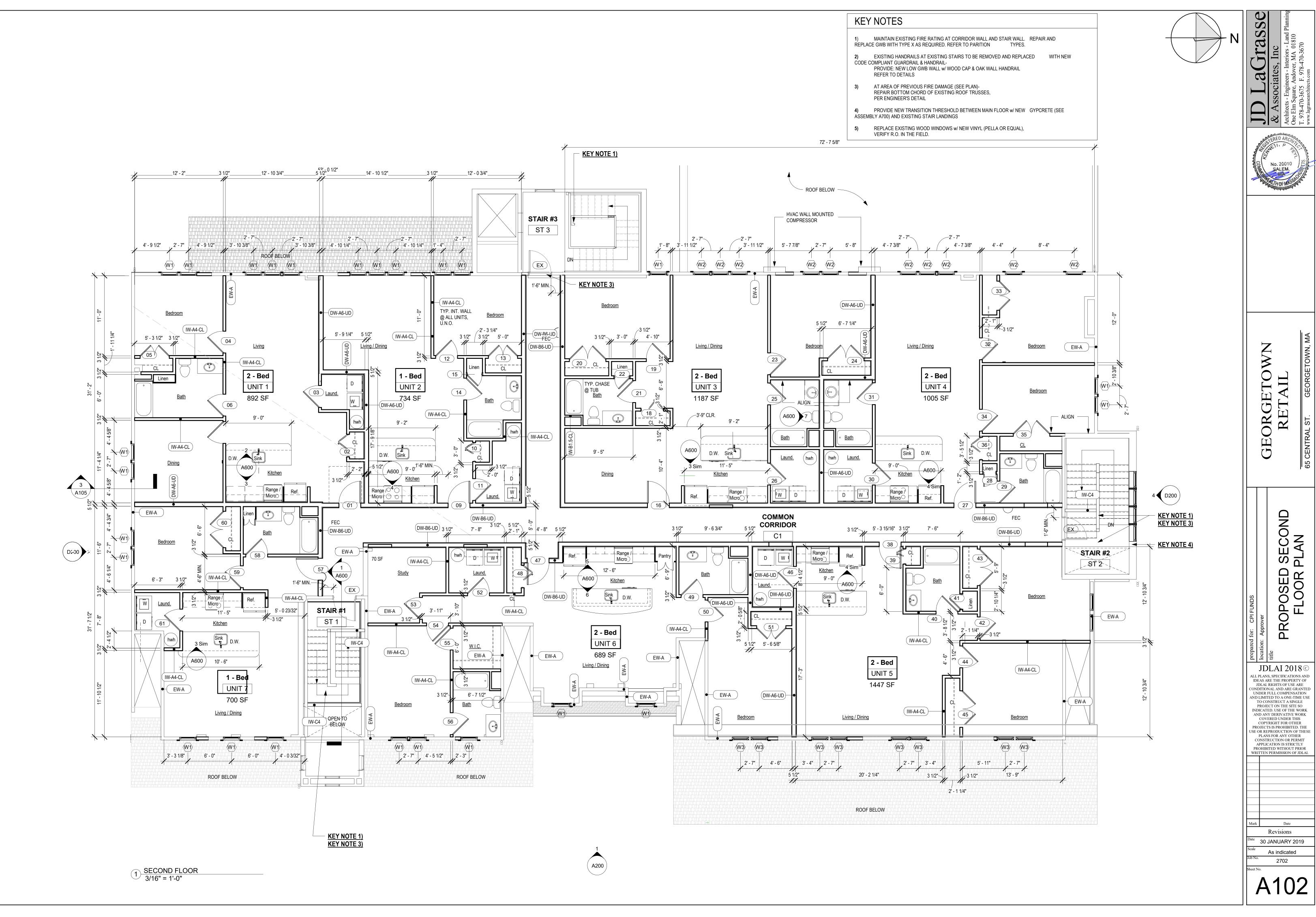
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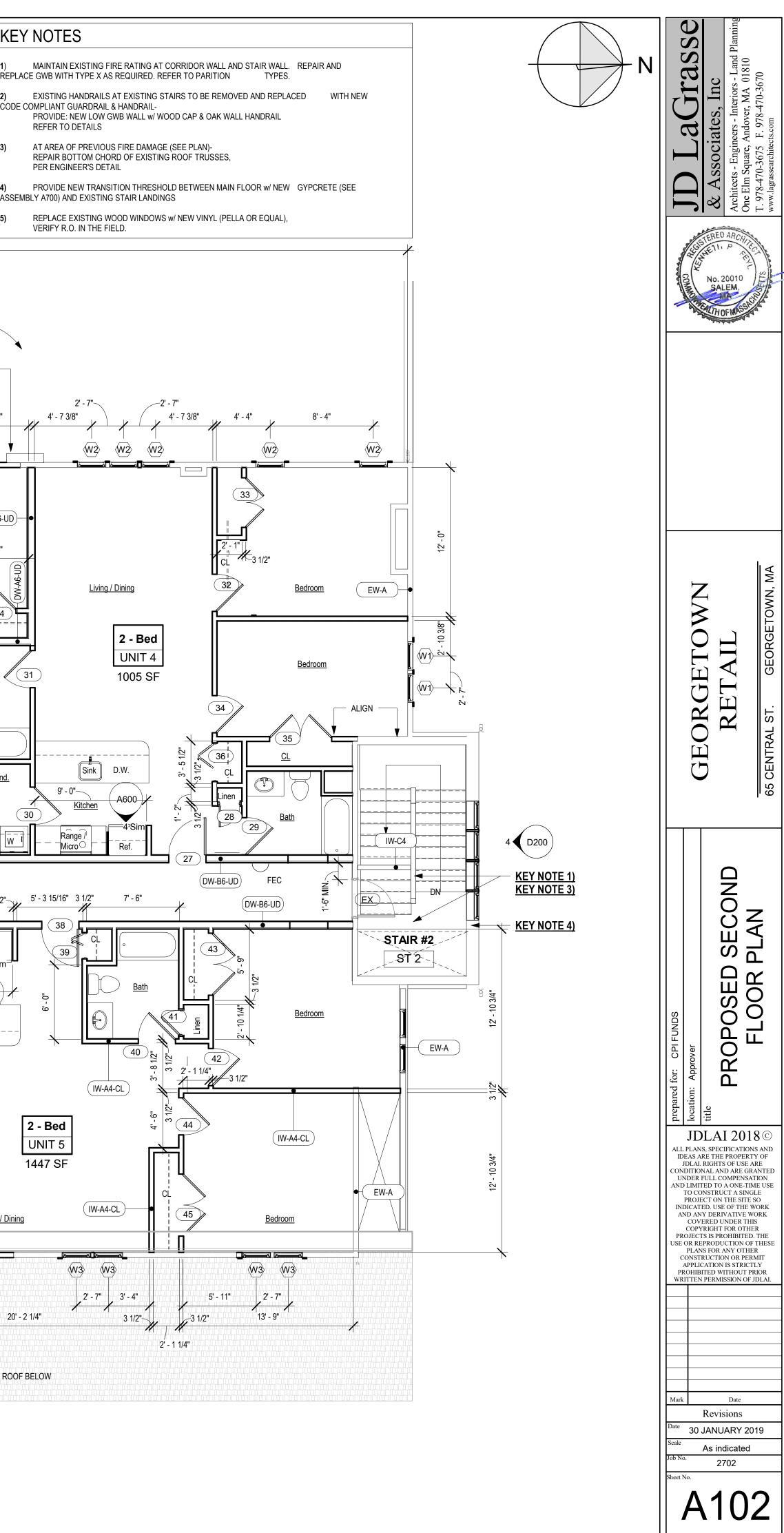




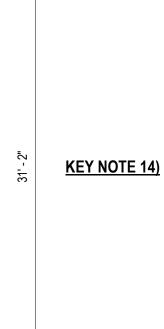


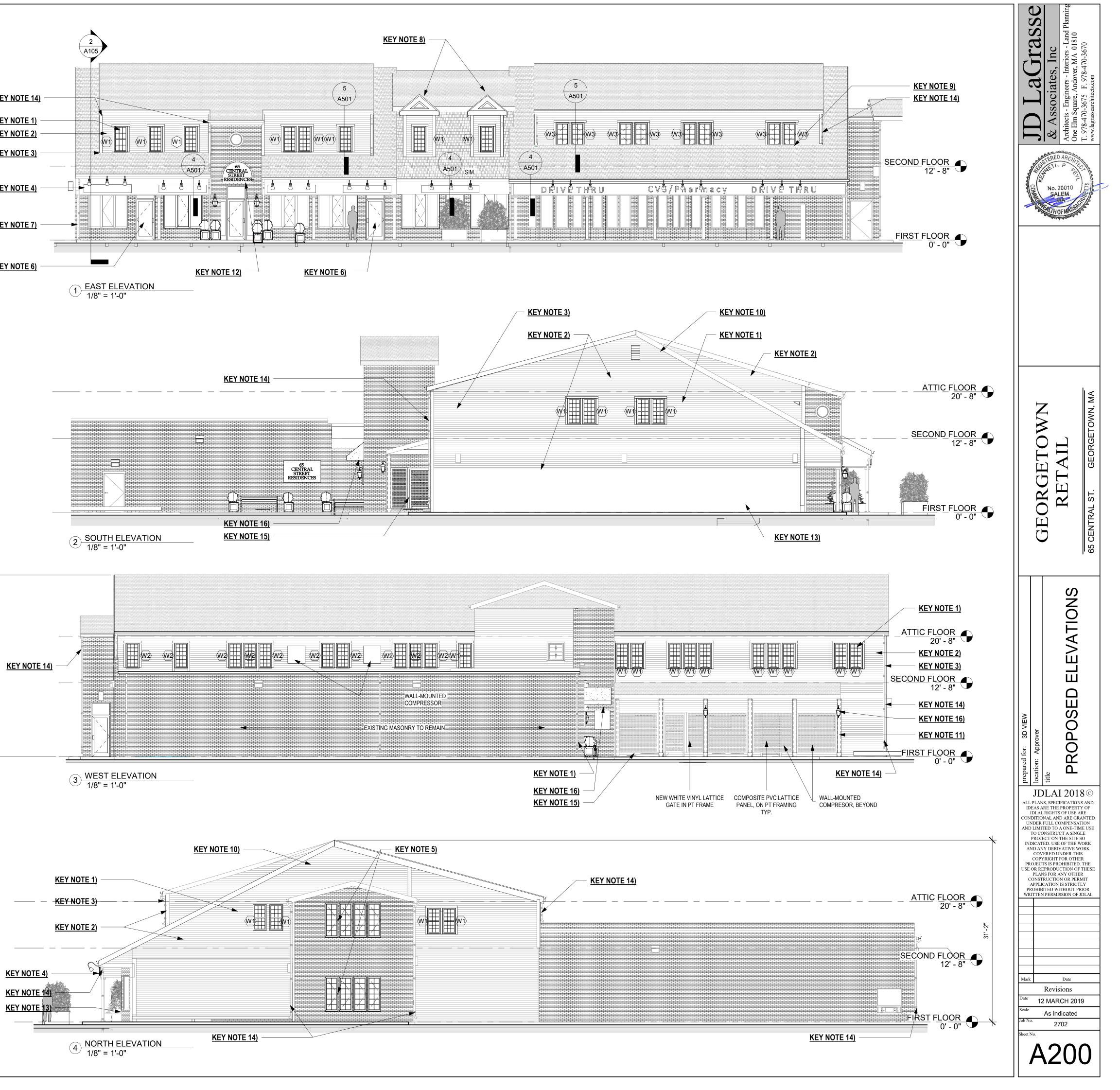






EL	EVATION KEY NOTES	
1)	NEW VINYL WINDOW, SEE A700 FOR SIZE; PROVIDE NEW 3 1/2" PVC TRIM w/ CONCEALED 'J' CHANNEL & NEW 2" PVC SILL	
2)	NEW SIDING: CERTAINTEED 'CEDAR IMPRESSIONS' VINYL SHAKE - DOUBLE 7" STRAIGHT EDGE, COLOR - GRANITE GRAY	KEY
3)	NEW 5/4x 6 PVC CORNER BOARD w/ CONCEALED 'J' CHANNEL	
4)	NEW PVC PANEL; MATCH EXISTING PROFILE TRIM	KEY
5)	NEW VINYL WINDOWS TO MATCH EXISTING STYLE & SIZE	<u>KEY</u>
6)	NEW FIBERGALSS DOOR w/ FULL LITE, TO MATCH EXISTING SIZE	KEY
7)	EXISTING FIBERGLASS COLUMN SURROUND TO BE REPLACED	
8)	NEW GABLE 'DOGHOUSE' DORMER, OVER FRAME @ EXISTING DORMER	KEY
9)	CUT BACK & RE-FRAME @ EXISTING ROOF TO ACCOMODATE NEW WINDOWS	
10)	NEW GABLE END VINYL LOUVER	
11)	WRAP EXISTING P.T. POSTS w/ 1x8 PVC TRIM; NEW PVC BASE & OG CAP; NEW 2" PVC CAP (TYP.)	<u>KEY I</u>
12)	PROVIDE NEW COMPOSITE PVC SIGNAGE PANEL, CUSTOM DIMENSION TO FIT ARCHED OPENING. PROVIDE STEEL CABLE SUPPORT.	
13)	PROVIDE PVC WATER TABLE CONTINOUS, ALL SIDES	KEY
14)	PROVIDE NEW DOWNSPOUT AND GUTTER SYSTEM, REPLACE IN-KIND	
15)	PROVIDE NEW COMPOSITE PVC SCREEN PANEL BETWEEN POSTS	
16)	PROVIDE NEW KICHLER MADISON COLLECTION 14.75" LIGHT WALL LIGHT TEXTURED BLACK (COACH LIGHTS)	





1) FIRST FLOOR DEMOLITION PLAN 1/8" = 1'-0"

REMOVE EXISTING DOOR

NO DEMOLITION IN SUITE 1

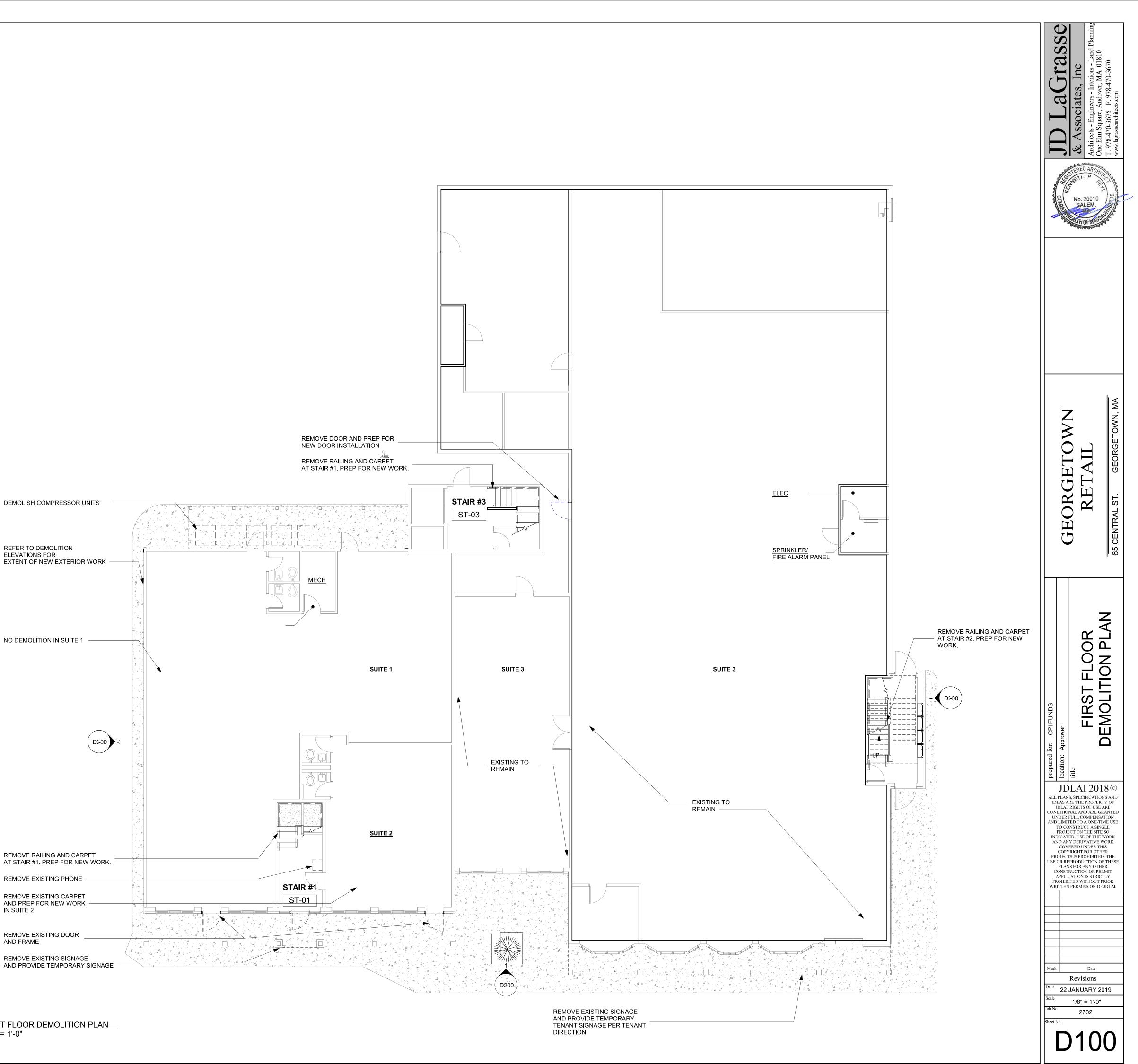
REFER TO DEMOLITION ELEVATIONS FOR

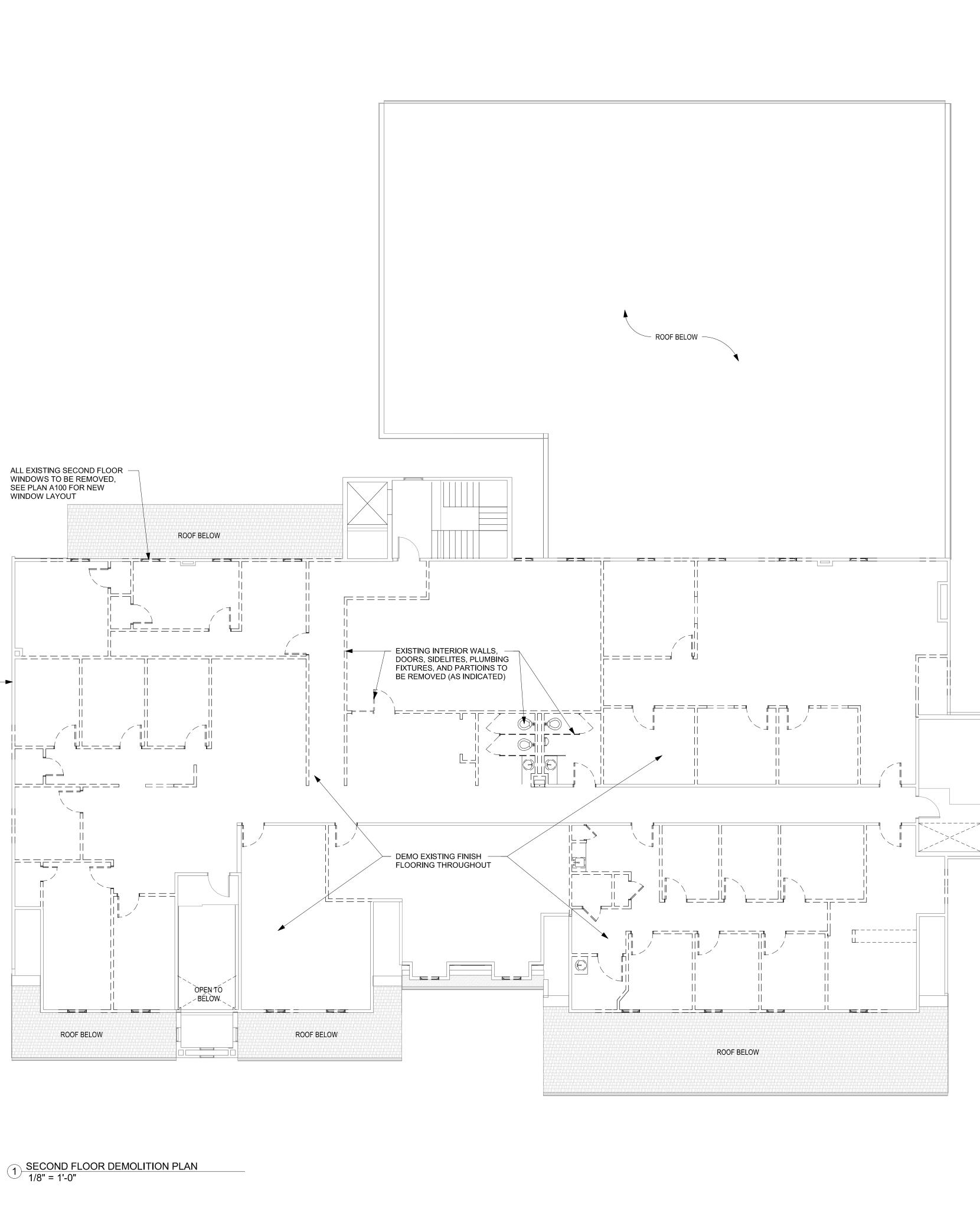
DEMOLISH COMPRESSOR UNITS

REMOVE RAILING AND CARPET AT STAIR #1. PREP FOR NEW WORK. REMOVE EXISTING PHONE REMOVE EXISTING CARPET AND PREP FOR NEW WORK IN SUITE 2

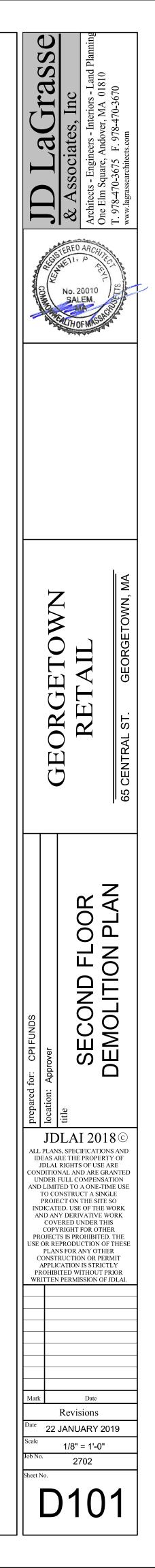
AND FRAME

REMOVE EXISTING SIGNAGE AND PROVIDE TEMPORARY SIGNAGE





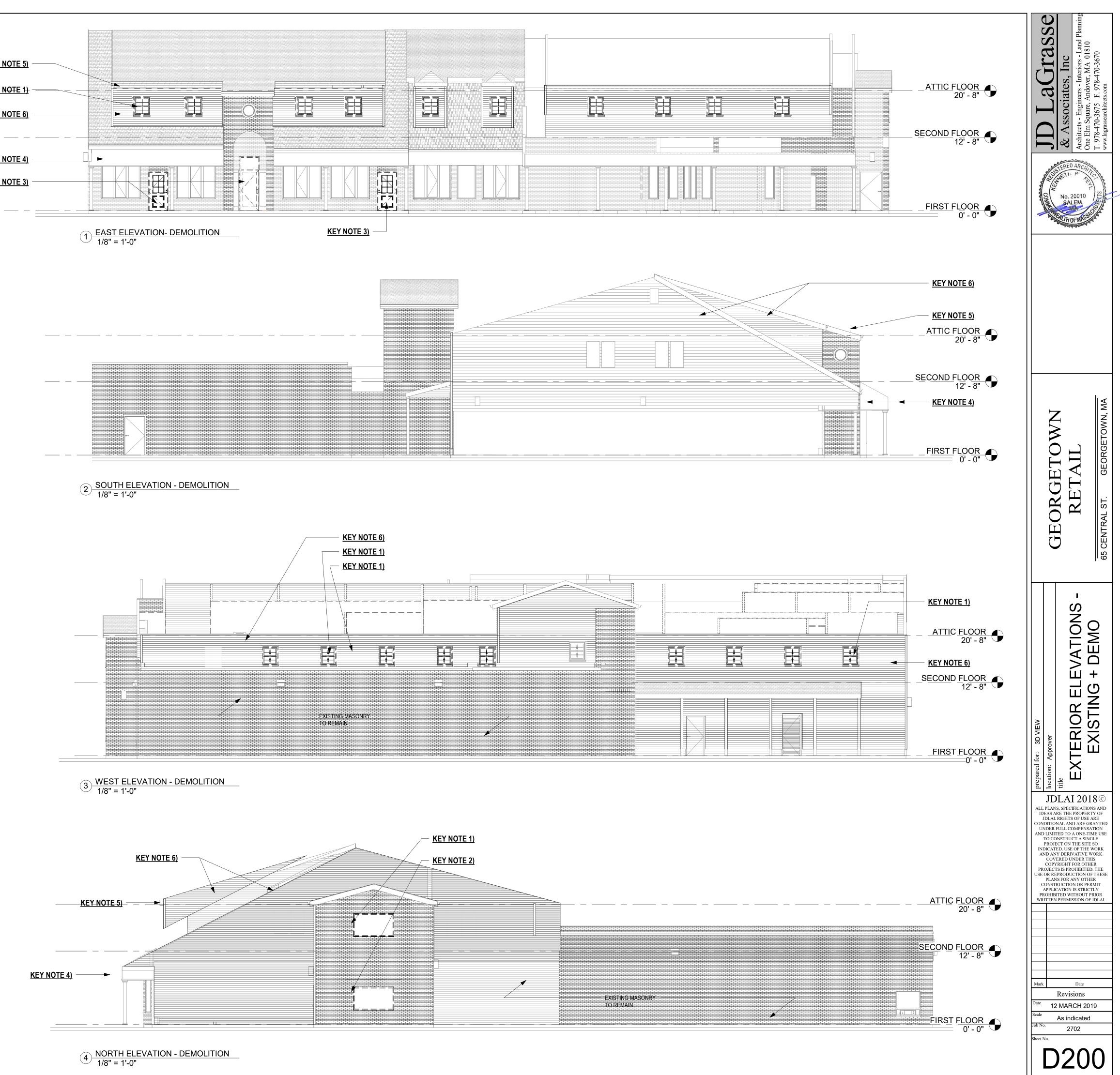
REMOVE SIDING @ EXISTING EXTERIOR WALLS, RE-SIDE w/ NEW VINYL SHAKES, SEE PLAN (A100) & ELVATIONS (A200) FOR EXTENT, SEE A700 FOR ASSEMBLY

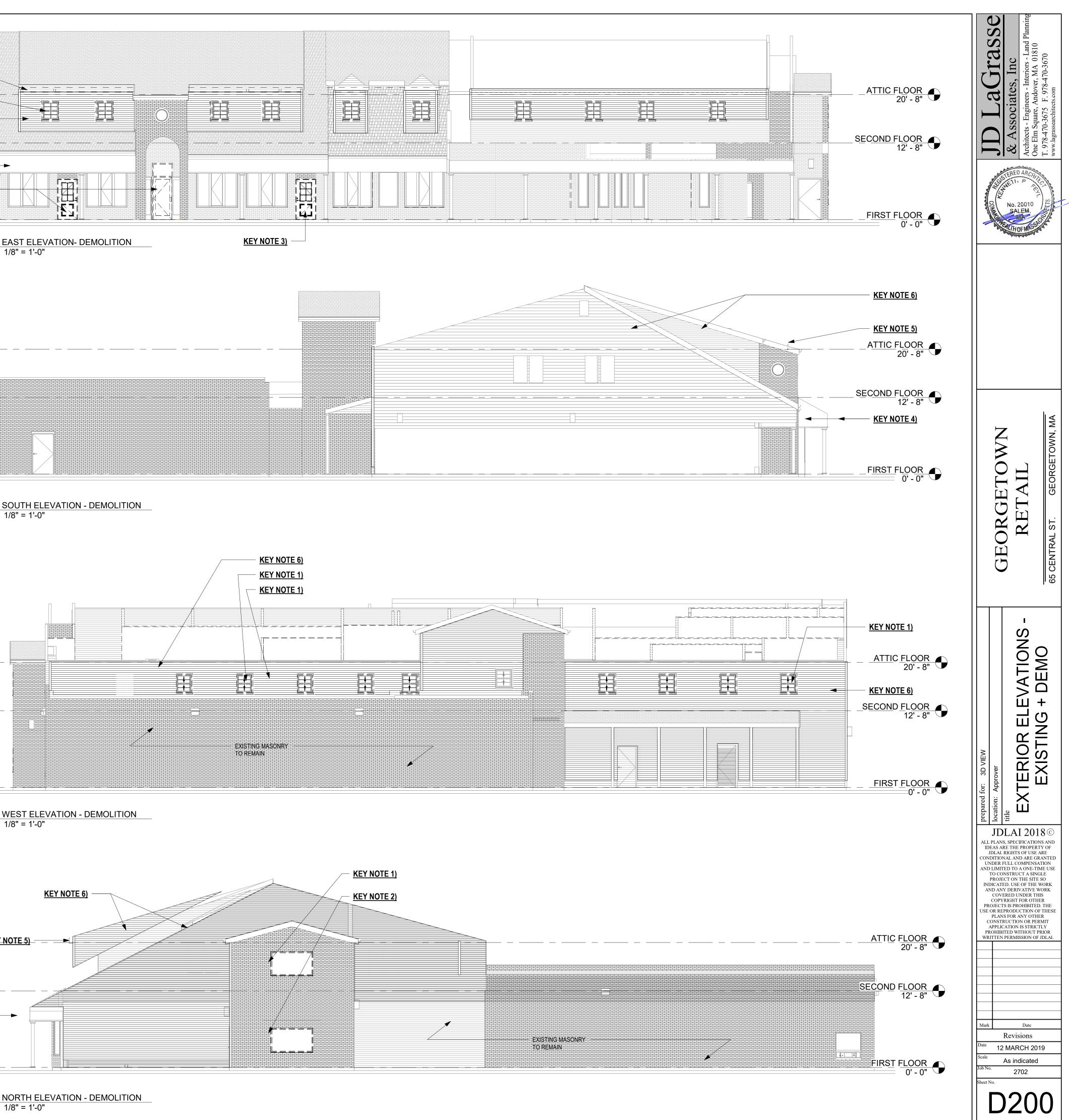


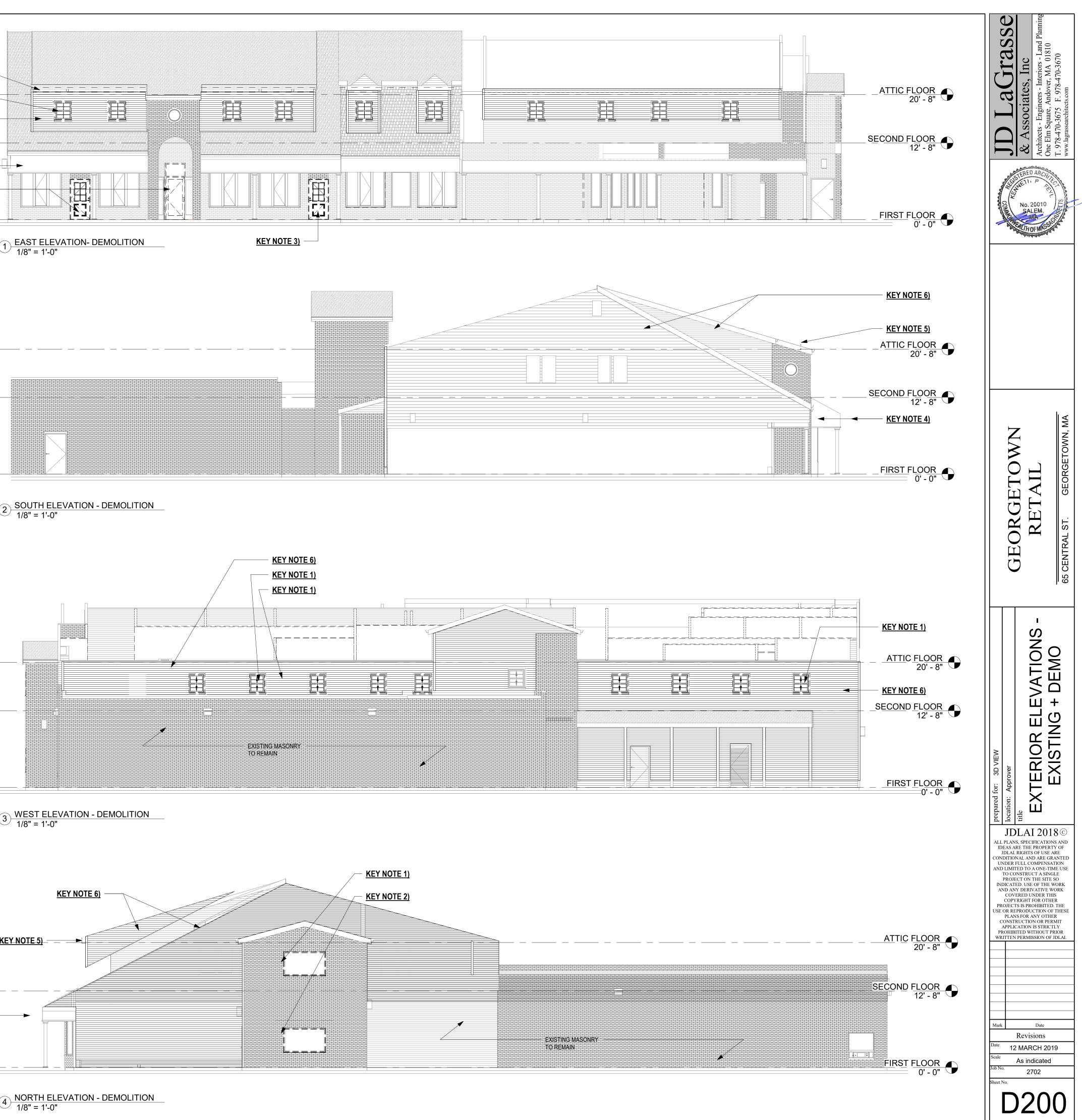
DEMO. KEY NOTES

<u>KEY NOTE 5)</u> -1) ALL EXISTING WINDOWS AT SECOND FLOOR TO BE REMOVED; REPLACE WITH NEW PER PROPOSED ELEVATIONS, SHEET A200 <u>Key Note 1)</u> -2) EXISTING WINDOW AT FIRST FLOOR TO BE REMOVED; REPLACE WITH NEW VINYL WINDOW TO MATCH, PELLA 350 SERIES, WHITE <u>KEY NOTE 6)</u> 3) EXISTING DOOR AT FIRST FLOOR TO BE REMOVED; EXISTING PLYWOOD FASCIA PANEL AND ASSOCIATED MOULDING @ FIRST FLOOR 4) ARCADE TO BE REMOVED _____ 5) EXISTING 'BOXED' FASCIA AT SECOND FLOOR TO BE REMOVED <u>KEY NOTE 4)</u> 6) ALL EXISTING VINYL CLAPBOARD SIDING AND ASSOCIATED TRIM TO BE REMOVED

<u>KEY NOTE 3)</u>

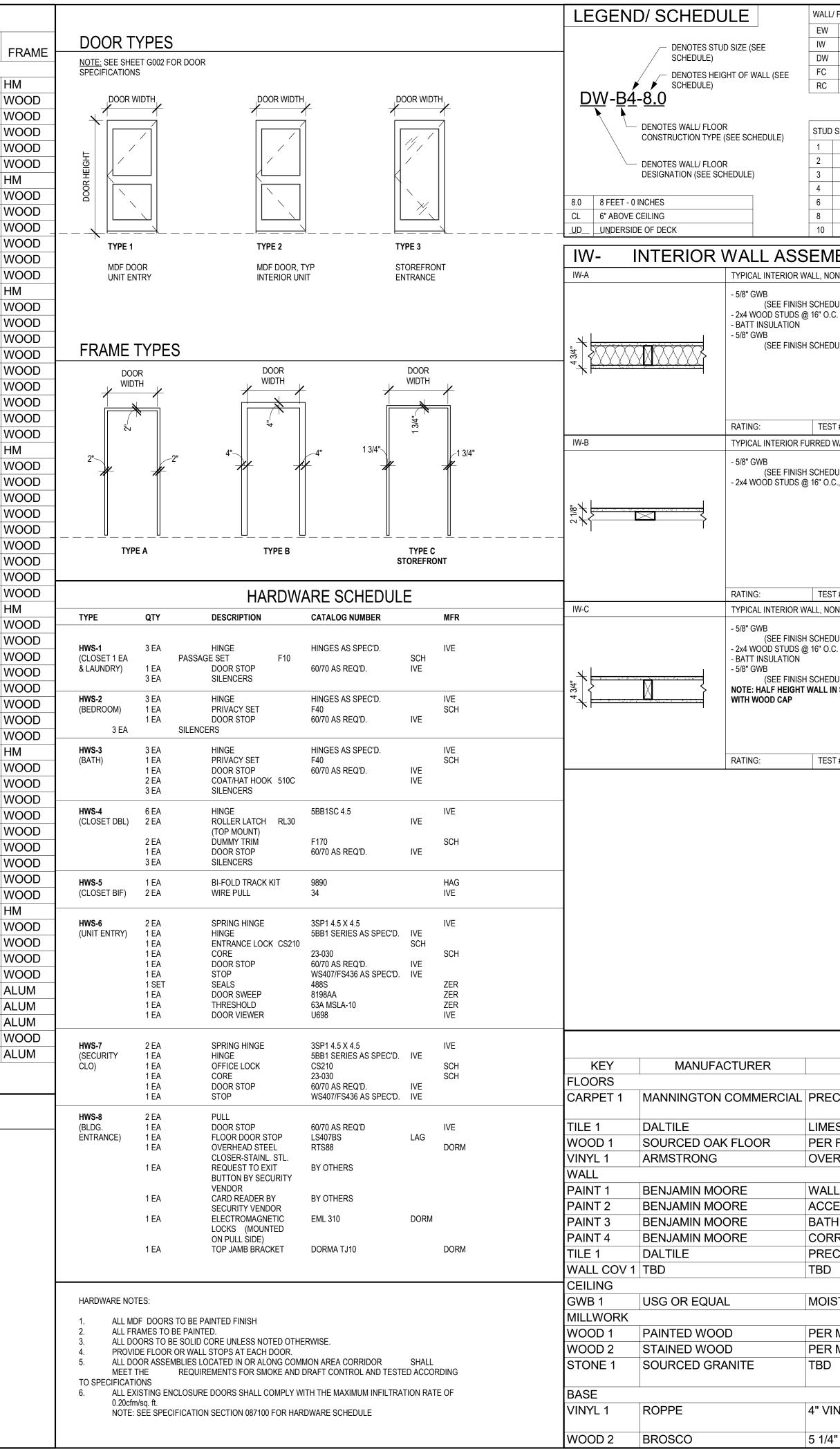




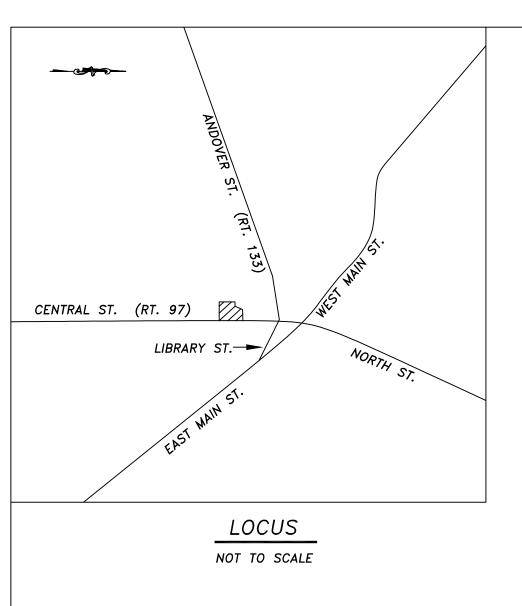




01 02 03	FROM	то	WIDTH	HEIGHT	THICKNES	S TYPE	LABEL	HARD WARE	FRAME TYPE	MATERIA
	CORRIDOR	UNIT 1	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSU
∩ <u></u> 2	KITCHEN	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
03	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
04	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	В	MDF
05	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	В	MDF
06	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	В	MDF
09	CORRIDOR	UNIT 2	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	Α	STL INSU
10	KITCHEN	CLOSET	2' - 6"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
11	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
12	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF
13	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF
14	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
15	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	B	MDF
	CORRIDOR	UNIT 3	3' - 0"	7' - 0"	0' - 1 3/8			6		
16			3 - 0	7'-0"		2	45 MIN	6	A	
18 19	LIVING	CLOSET BEDROOM	3 - 0	7'-0"	0' - 1 3/8" 0' - 1 3/8"	2		1	B	MDF MDF
	BEDROOM		5' - 0"	7' - 0"		2		2 4	_	MDF
20		CLOSET			0' - 1 3/8"				B	
21		BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
22	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	B	MDF
23	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF
24	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	В	MDF
25	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	В	MDF
26	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
27	CORRIDOR	UNIT 4	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSU
28	KITCHEN	CLOSET	1' - 8"	6' - 8"	0' - 1 3/8"	6		1	В	MDF
29	KITCHEN	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	В	MDF
30	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
31	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
32	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF
32 33	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF
33 34	LIVING	BEDROOM	4 - 0 3' - 0"	7'-0"	0' - 1 3/8"	2		4	B	MDF
						2		<u>د</u> 1		
35	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"			1	B	MDF
36	LIVING	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2	A	1	B	MDF
38	CORRIDOR	UNIT 5	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSU
39	KITCHEN	CLOSET	2' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF
40	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	В	MDF
41	BATH	CLOSET	2' - 0"	6' - 8"	0' - 1 3/8"	2		1	В	MDF
42	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	В	MDF
43	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	В	MDF
44	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	В	MDF
45	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		4	В	MDF
46	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
47	CORRIDOR	UNIT 6	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSU
48	KITCHEN	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
49	LIVING	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
50	LIVING	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF
51	BEDROOM	CLOSET	4' - 0"	7' - 0"	0' - 1 3/8"	2		4	B	MDF
52	LIVING		3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF
52 53	LIVING	STUDY	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	B	MDF
55 54	LIVING		3' - 0"	7' - 0"	0' - 1 3/8"	2			B	MDF
		BEDROOM						2		
55	BEDROOM	CLOSET	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	B	MDF
56	BEDROOM	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	B	MDF
57	CORRIDOR	UNIT 7	3' - 0"	7' - 0"	0' - 1 3/4"	1	45 MIN	6	A	STL INSU
58	KITCHEN	BATH	3' - 0"	7' - 0"	0' - 1 3/8"	2		3	В	MDF
59	KITCHEN	BEDROOM	3' - 0"	7' - 0"	0' - 1 3/8"	2		2	В	MDF
60	BEDROOM	CLOSET	5' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
61	KITCHEN	LAUNDRY	3' - 0"	7' - 0"	0' - 1 3/8"	2		1	В	MDF
62	EXTERIOR	RETAIL 101	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	С	ALUM
63	EXTERIOR	RETAIL 102	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	C	ALUM
	EXTERIOR	STAIR 1	3' - 0"	7' - 0"	0' - 1 3/4"	3		8	C	
				-				7		MDF
							45 MIN	8	TBD	TBD
-										
64 65 66	EXTERIOR ST-1 EXTERIOR	STAIR 1 SECURITY UNIT 3 RETAII	2' - 6"	7' - 0" 6' - 8" 7' - 0"	0' - 1 3/4" 0' - 1 3/4" 0' - 1 3/4"	3 2 8	45 MIN	8 7 8	В	D



	DW- D	EMISING	WALL A	SSEMBLIES		
EXTERIOR WALL	DW-A		NEW UNIT DEM	ISING WALL	ASSC Land Planning	10
DEMISING WALL FLOOR/ CEILING				IRE RATED GWB UDS @ 16" O/C (SEE STRUCTURAL)		A 01810 3670
ROOF/ CEILING	+		- 5 1/2" BATT IN - 7/8" RESILENT	SULATION METAL CHANNELS	Gfr S, Inc	Andover, MA 01 F. 978-470-3670 ts.com
			- 5/8 ITPE X F	IRE RATED GWB		Andov F. 97 cts.com
SIZE SCHEDULE 7/8" MTL CHANNEL			* 5/8" MOISTUR AT WET LOCA	E RESISTANT GWB, EXPOSED, TIONS	La Sociat	Square, 10-3675 ssearchite
2 1\2" MTL 'C-H' STUDS					AS;	grav grav
2x4 WOOD STUDS 2x6 WOOD STUDS			RATING: 1 HR	TEST # UL U-305 STC: 57	$\frac{\mathbf{JI}}{\mathbf{k}_{A}}$	One T. 97 www.
	DW-B			DEMISING WALL-MODIFIED TYPE 'X' FIRE RATED GWB		HITCH
BLIES	I	I	- EXISTING 2x V	NOOD STUDS @ 16" O/C NTT INSULATION AS REQ'D.	a de lante 11, 15	CET CET
N-RATED				ILENT METAL CHANNELS E 'X' FIRE RATED GWB (FROM UNIT	8 No. 20010 SALEM,	o Sila
ULE FOR FINISH)					STREALTHOF MA	SSH
). 			* 5/8" MOISTUR AT WET LOCA	E RESISTANT GWB, EXPOSED, TIONS		
ULE FOR FINISH)						
	EW- E			TEST # UL U-305 STC: 57	-	
	_ V V - _ EW-A		1		_	
# STC:			- NEW: VINYI	L SHAKE SIDING EXTERIOR SHEATHING	-	
VALL I		EXT	- EXISTING: 2 - EXISTING: 1	2x6 STUDS NSULATION		
ULE FOR FINISH) C., ON FLAT			CON	E: WHERE WALL CAVITY IS EXPOSED DURING ISTRUCTION, INFILL WITH CLOSED CELL INSUL NTERIOR GWB FINISH, REPLACE AS REQ'D.		
			- EXISTING. I	WIENON GWET INISH, NEI EAOE AS NEWE.		
			RATING:	TEST #		MA
	FC- F	LOOR AS				
*# STC:	FC-A		TYPICAL FLOO			EORGETOWN,
ULE FOR FINISH)	· · · · · · · · · · · · · · · · · · ·		- NEW: ACOUST	RETE 2ND FLOOR FICAL SOUND MAT AND TOPPING KON CORP, ACOUSTI-MAT II OR EQUAL)		IRGE
).			- EXISTING: SU	BFLOOR - REPLACE WHERE NECESSARY SULATION	A E A	GEO
ULE FOR FINISH) I STAIR TO 3'-6"				ILING @ GROUND FLOOR IN FIRE RATING. SEAL ALL PENETRATIONS.		
					RE RE	ST.
						CENTRAL
T# STC:	RC-A		RATING: 1 HOU TYPICAL ROOF		GE	CEN.
			- NEW: CLOSED	CELL INSULATION OR EQUAL, R-49 MINIMUM		65
			- NEW: 5/8" TYP - CONCEALED \$	PE 'X ['] GWB SPACE ABOVE FINISH CEILING		
			REFLECTED C	EILING, HEIGHT AS INDICATED ON EILING PLAN IN FIRE RATING. SEAL ALL PENETRATIONS.		<u>מן</u>
	I	I	RATING: 1 HOU	R TEST # UL-L550 STC:		
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MATERIAL SO	CHEDULE	<u>11 - 02 -</u>			Approver	SEMBL
NAME	NUMBER	COLO	OR	NOTES	T	й И
CISION	34584	ACUTE		QUADRANT COLLECTION - SEE	prepared for: location: Ap title	DA
STONE COLLECTION	L191	CHENILLE WI	HITE	ALLOWANCE FLOOR AND WALLS TO 4'-6"		
FLOORING MANUFACTURER		STAIN TBD		2 COATS POLYURETHANE 12" x 12" VINYL TILE	ALL PLANS, SPECIFICA IDEAS ARE THE PROP JDLAI. RIGHTS OF U	TIONS AND PERTY OF JSE ARE
	20010	SANDSTONE			CONDITIONAL AND ARI UNDER FULL COMPE AND LIMITED TO A ONI TO CONSTRUCT A S	E GRANTED INSATION E-TIME USE
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RIDOR CISION	34584	ACUTE 4" BAS	SE	QUADRANT COLLECTION	USE OR REPRODUCTION PLANS FOR ANY O CONSTRUCTION OR APPLICATION IS STI	OTHER PERMIT RICTLY
				CORRIDOR ABOVE WAINSCOAT	PROHIBITED WITHOU WRITTEN PERMISSION	UT PRIOR
STURE RESISTANT				BATHROOM, LAUNDRY		
MILLWORK MANUFACTURER		TBD				
MILLWORK MANUFACTURER		TBD				
		TBD		LOCALLY SOURCE GRANITE COUNTER		
NYL COVE BASE	_			COORDINATES WITH CARPET	Mark Date Revisions	
	- -	-		LOCATIONS	Date 16 OCTOBER	R 2018
" WOOD BASE	B400				Job No. 2702	ted
					Sheet No.	
					A70)()



LEGEND

IRON PIN STONE BOUND DRILLHOLE CATCH BASIN DRAIN MANHOLE SEWER MANHOLE ELECTRICAL MANHOLE WATER GATE STREET SIGN UTILITY POLE HYDRANT
TREE
EDGE OF WETLAND
TREELINE
DRAIN PIPELINE
SEWER PIPWLINE
WATER PIPELINE
TELEPHONE CONDUIT
WOOD PICKET FENCE
CHAINLINK FENCE
ELEVATION CONTOUR
SPOT ELEVATION
CEMENT CONCRETE
BITUMINOUS CONCRETE
WOOD FRAME DWEELING
NOW OR FORMERLY
FOUND
REINFORCED CONCRETE PIPE

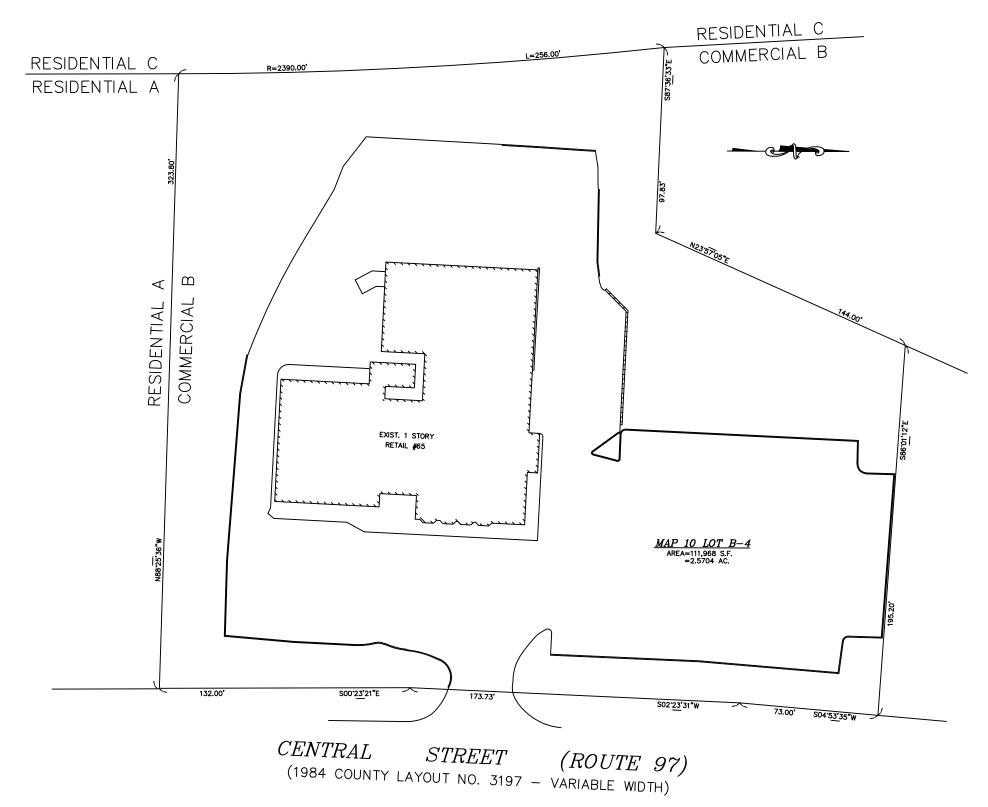
JTILITY\BORDERS\BILL\DWGS\65 CENTRAL ST.-GEORGETOWN3C.DWG 4/4/19

PROPOSED SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN

GEORGETOWN, MA 65 central st prepared for

JD LAGRASSE & ASSOCIATES INC. ONE ELM SQUARE ANDOVER, MA 01810

MERRIMACK ENGINEERING SERVICES 66 PARK STREET ANDOVER, MASSACHUSETTS 01810 PHONE: (978) 475–3555 FAX.: (978) 475–1448 EMAIL: MERRENG@AOL.COM



SHEET INDEX

- 1 COVER
- 2 EXISTING CONDITIONS
- 3 SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM
- 4 CONSTRUCTION DETAILS

GENERAL NOTES

- 1.) SEE TOWN OF GEORGETOWN ASSESSORS MAP 10B LOT 3 AND 4 FOR SITE.
- 2.) SUBJECT PROPERTY RECORDED IN E.S.D.R.D. BOOK 35,160 PAGE 493.
- 3.) CURRENT ZONING IS COMMERCIAL B, CB
- 4.) OWNER OF RECORD IS: CNLV CVGTNMA LLC 195 NORTH STREET, SUITE 100

TETERBORO, NJ 07608

5.)	PARKING REQUIREMENTS:			
	*RETAIL 9,242 S.F X 1 SP/250 S.F.	=	37	SPACES
	*BUSINESS 3,132 S.F X 1 SP/300 S.F.	=	11	SPACES
	*RESIDENTIAL 7 DWELLING UNITS X 2 SP/UNIT	=	14	SPACES
	TOTAL REQUIRED:		62	SPACES
	TOTAL SPACES PROVIDED:	1	23	SPACES
	HANDICAP REQUIRED:		5	SPACES
	HANDICAP PROVIDED:		6	SPACES

SUMMARY OF DIMENSIONAL REQUIREMENTS CB ZONE						
		REQUIRED	EXISTING	PROPOSED		
MIN. LOT AREA		40,000 S.F.	111,968 S.F	111,968 S.F		
MIN. LOT DEPTH		150 FT.	195.2 FT.	195.2 FT.		
MIN. LOT FRONTAG	Ξ	160 FT.	305.73 FT.	305.73 FT.		
MAXIMUM LOT COVERAGE		65%	58.4%	58.4%		
MAXIMUM BLDG. COVERAGE		30%	12.3%	12.3%		
LANDSCAPED OPEN SPACE		35%	41.6%	41.6%		
MAXIMUM BLDG. HE	IGHT	40 FT.	31.2 FT.	31.2 FT.		
	FRONT	20 FT.	83 FT.	83 FT.		
MIN. SETBACKS	SIDE	100 FT.	57.5 FT.	57.5 FT.		
	REAR	100 FT.	101 FT.	101 FT.		

LIST OF WAIVERS

* DRAINAGE CALCULATIONS AND ANALYSIS

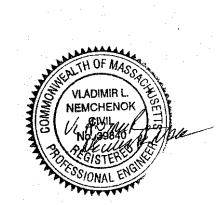
THERE IS NO INCREASE OR CHANGE IN BUILDING OR IMPERVIOUS LOT COVERAGE, NO INCREASE IN RUNOFF AND NO CHANGE TO DRAINAGE PATTERNS.

* SIGHT DISTANCE

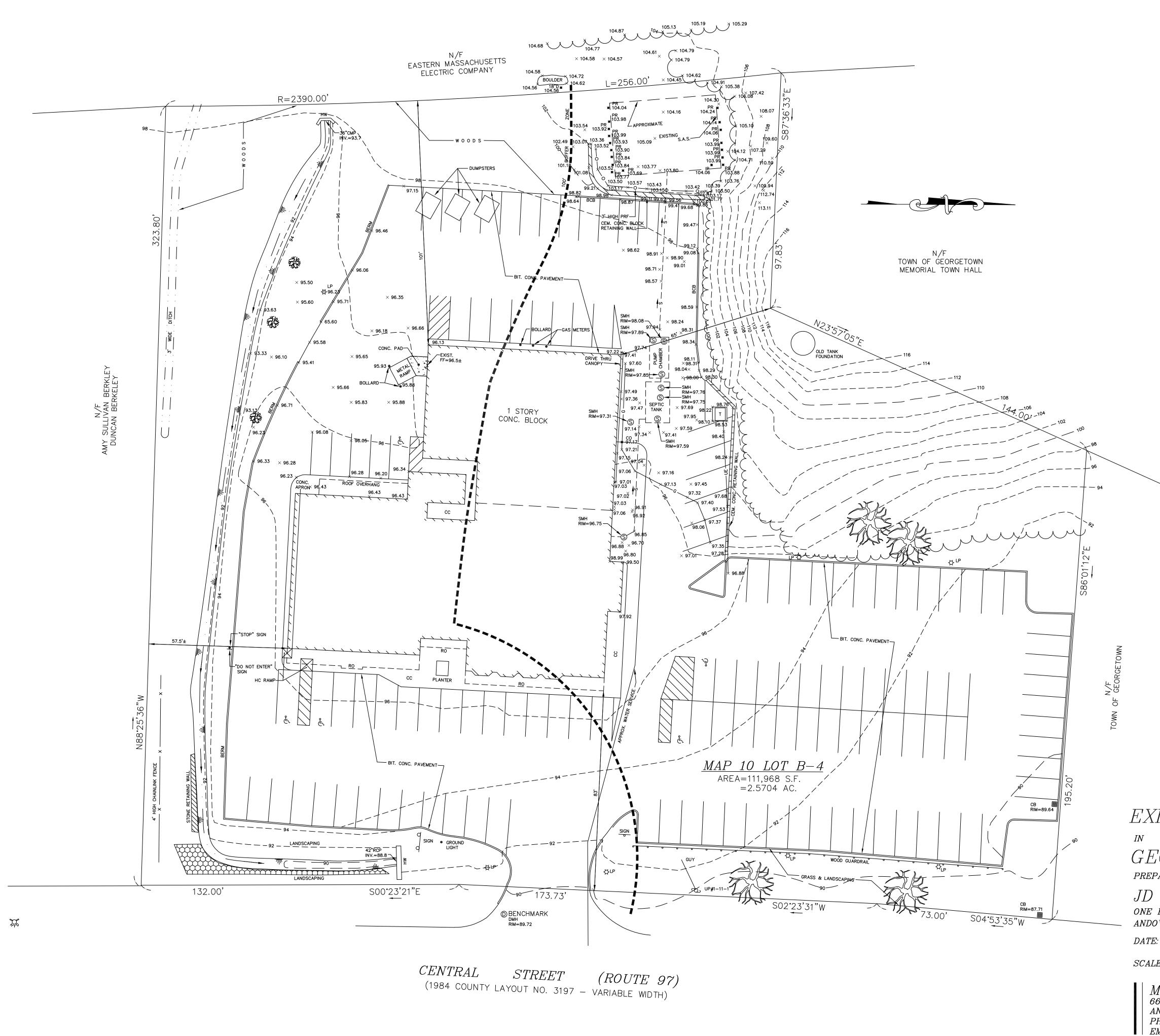
THERE IS A PRE-EXISTING DRIVEWAY ENTRANCE WITH NO PROPOSED CHANGE.

GEORGETOWN PLANNING BOARD

DATE



COVER SHEET SHEET 1 OF 4



EXISTING CONDITIONS PLAN

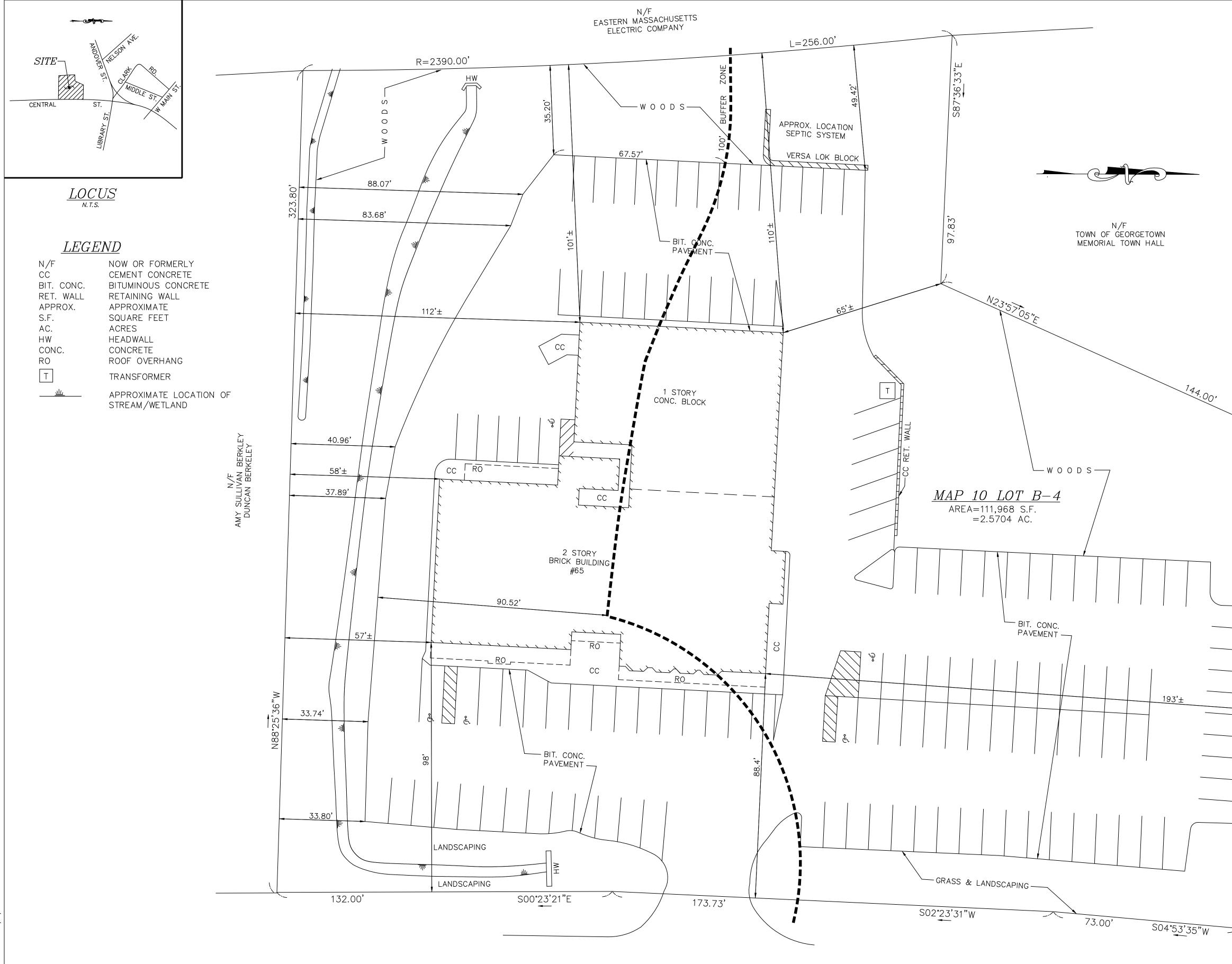
GEORGETOWN, MA PREPARED FOR JD LAGRASSE & ASSOCIATES INC. ONE ELM SQUARE ANDOVER, MASSACHUSETTS 01810 DATE: MARCH 29, 2019

SCALE: 1"=20'

MERRIMACK ENGINEERING SERVICES 66 park street andover, massachusetts 01810 phone: (978) 475–3555 fax.: (978) 475–1448 email: merreng@aol.com



EXISTING CONDITIONS SHEET 2 OF 4



CENTRAL STREET (ROUTE 97) (1984 COUNTY LAYOUT NO. 3197 – VARIABLE WIDTH)

ZONING CHARACTERISTICS:			
	FRAME COMMERCIAL OFFICE BUILDING RGETOWN, MA LOCATED IN THE "CB"		
LOT	SECTION	REQUIRED	PROVIDED
MIN. LOT AREA	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	40,000 S.F.	111,968 S.F.
MAX. BUILD COVERAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	30%	12.27%
LOT DEPTH	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	150'	379.35'
MAX. LOT COVERAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	65%	59.27%
FRONT YARD SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	20'	88.4'
SIDE YARD SETBACK	ZONING SECTION 165 TABLE 2, SECTION 4.1.2	10'	57'±/65'±
REAR YARD SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	20'	110 ' ±
BUFFER ZONE SETBACK	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE, NOTE #6, ZONING SECTION 165-7 DEFINITIONS	100'	35.20'/37.89
MAX. BUILDING HEIGHT	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	40'	31.75'
MAX. NO. STORIES	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	2.5 STORIES	2 STORIES
STREET FRONTAGE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	160'	378.73 '
LANDSCAPE OPEN SPACE	ZONING SECTION 165 ATTACHMENT 3 INTENSITY OF USE	35%	40.72%
CONTIGUOUS BUILDABLE AREA	ZONING SECTION 165-7 DEFINITIONS	70,00 S.F.	99,200 S.F.
PARKING CHARACTERISTICS			
LOT	SECTION	REQUIRED	PROVIDED
PARKING	SECTION 165-61		
PARKING SPACES RETAIL:		1 SP. PER 250 S.F. OF TOTAL FLOOR AREA (12,360 S.F.) =50 SP.	131 SP.
RESIDENTIAL:		2 SP. PER DWELLING UNIT (7 UNITS) =14 SP. 64 SP. TOTAL	

<u>NOTES</u>

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N/F GEC

9 P

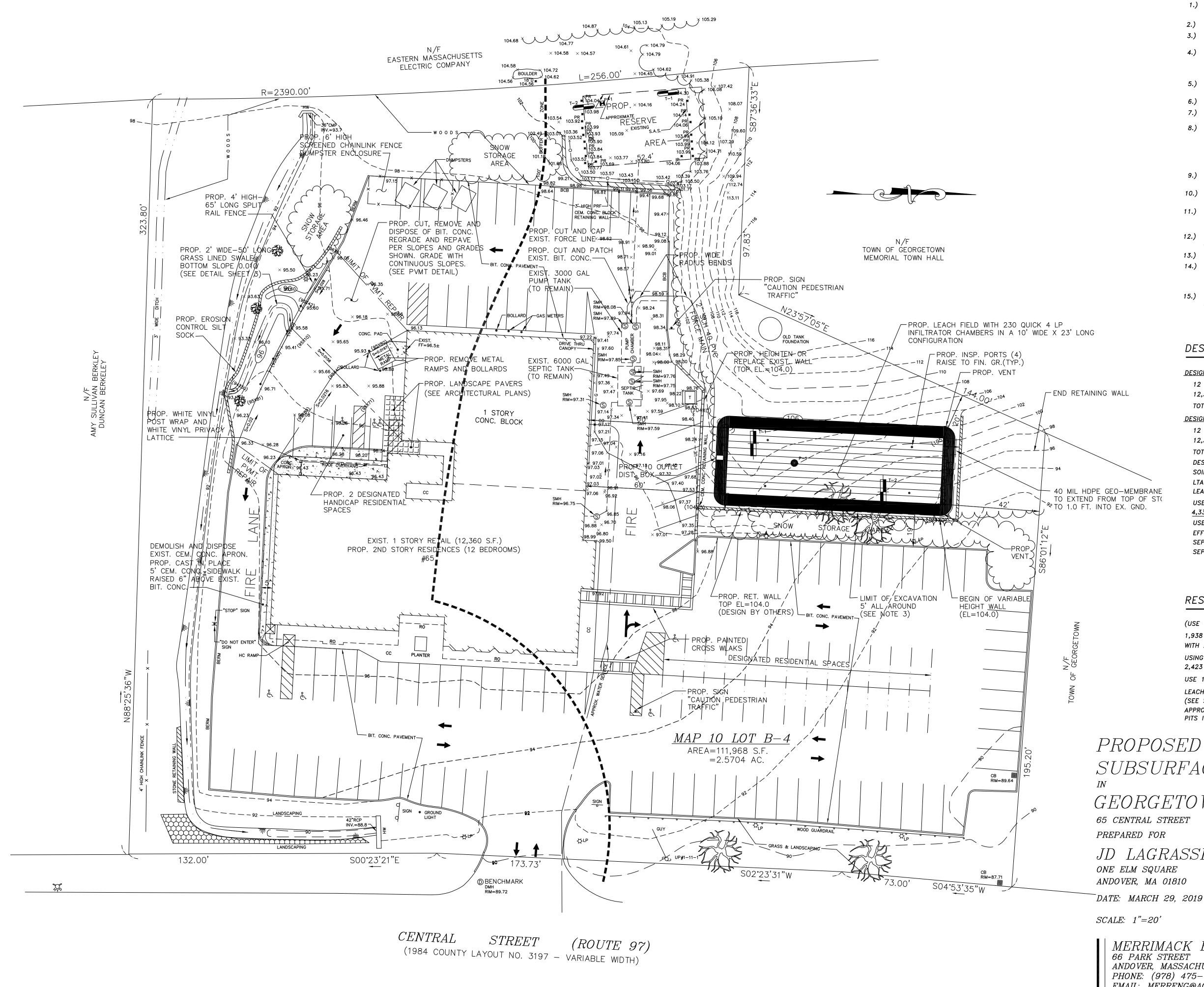
STAPINSKI #29876

1. FIELD DATA LOCATION FROM G.P.S. SURVEY. DECEMBER 2017

- 2. PLAN AND DEED SOURCES USED FOR SUBJECT PREMISES - DEED 7511/562 FROM BASIL S. KINSON, INC. TO JACK C. HAYMAN & ESTELLE HAYMAN
- PLAN 1815/600 DATED JAN. 1906
- DEED 2345/372 FROM GEORGETOWN SAVINGS BANK TO JOHN F. HUGHES - DEED 3152/58 FROM JOHN HYCZUK TO GEORGETOWN SAVINGS BANK - PLAN BOOK 188 PLAN 58 OF 1984 COUNTY LAYOUT RECORD NO. 3197 OF CENTRAL STREET
- RAILROAD LAYOUT PLAN NO. 45A & 45B - PLAN BOOK 391 PLAN 53 BY MISTRY ASSOCIATES, INC. WAS FOUND TO BE UNRELIABLE AND NOT HELD. SEE NOTE 1 ON MISTRY PLAN
- "NOT PREPARED FROM AN INSTRUMENT PERIMETER SURVEY".

PLAN OF LAND
GEORGETOWN, MA
prepared for LAGRASSE ASSOCIATES ARCHITECTS one elm square andover, ma 01810
DATE: DECEMBER 29, 2017 REV.: JANUARY 7, 2019
SCALE: 1"=20' 0' 10' 20' 40' 60'
MERRIMACK ENGINEERING SERVICES 66 park street andover, massachusetts 01810 phone: (978) 475–3555 fax.: (978) 475–1448 email: merreng@aol.com

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NOTES

- 1.) ALL FILL BENEATH THE SOIL ABSORPTION SYSTEM SHALL BE IN CONFORMANCE WITH 310
- CMR 15.255 (3) AND SHALL BE WASHED SAND OR ASTM C33 CONCRETE SAND. 2.) THIS SYSTEM IS NOT DESIGNED FOR USE WITH A GARBAGE GRINDER.
- 3.) REMOVE ALL TOPSOIL, ROOTS AND SUBSOIL AND REPLACE WITH SPECIFIED FILL WITHIN
- 5 FEET OF SYSTEM. FILL SHALL BE IN CONFORMANCE WITH CMR 15.255 (3). 4.) COVER MATERIAL OVER THE SYSTEM SHALL BE FREE OF CLAY, STONES, MASONRY, STUMPS, OR WASTE CONSTRUCTION MATERIAL. THE TOP 3" SHALL BE LOAMED AND SURFACE SEEDED. MACHINERY WHICH MAY CRUSH OR DISTURB THE ALIGNMENT OF THE PIPES IN THE DISPOSAL AREA SHALL NOT BE ALLOWED.
- 5.) FOUNDATION DRAINS ARE NOT TO BE INSTALLED WITHIN <u>10</u> FT. OF THE SEPTIC TANK NOR WITHIN <u>20</u> FT. OF THE SOIL ABSORPTION SYSTEM.
- 6.) ALL PIPING SHALL BE LAID STRAIGHT ON CONTINUOUS GRADE AND SHALL HAVE WATERTIGHT JOINTS
- 7.) PROPERTY LINES SHOWN WERE TAKEN FROM EXISTING PLANS AND RECORDS. SEE E.S.D.R.D. BK. 35,160 PG. 493.
- 8.) THE LOCATION OF EXISTING UNDERGROUND UTILITIES WAS TAKEN FROM EXISTING PLANS AND RECORDS OR FROM FIELD OBSERVATIONS AND MARKINGS AND ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE CONSTRUCTION BEGINS. THE DESIGN ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES SO THAT REMEDIAL ACTION CAN BE TAKEN.
- 9.) THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER 48 HRS. IN ADVANCE OF BED EXCAVATION AND COMPLETION SO THAT REQUIRED INSPECTIONS CAN OCCUR.
- 10.) THE CONTRACTOR SHALL BE FINANCIALLY RESPONSIBLE FOR THE AS-BUILT INSPECTIONS AND
- PLAN. THIS SERVICE SHALL BE INCLUDED AS PART OF THE CONSTRUCTION CONTRACT. 11.) FOR THE REPAIR (OR UPGRADE) OF SYSTEMS, THE EXISTING S.A.S. AND SURROUNDING
- AND UNDERLYING SPOILED SOIL SHALL BE EXCAVATED AND REMOVED WHEREVER IT IS WITHIN 5 FT. OF THE PROPOSED SYSTEM.
- 12.) NO PRIVATE WELLS EXIST. WITHIN 100 FT. NOR ANY PUBLIC WELLS OR DRINKING WATER SUPPLIES WITHIN 400 FT. OF THE SYSTEM.
- 13.) NO WETLANDS EXIST WITHIN <u>100</u> FT. OF THE PROPOSED SYSTEM. 14.) THIS SYSTEM DESIGN, ALL MATERIALS AND COMPONENTS AND ALL INSTALLATION PROCEDURES SHALL BE AND ARE INTENDED TO BE IN FULL CONFORMANCE WITH TITLE 5, MINIMUM REQUIREMENTS FOR THE SUBSURFACE DISPOSAL OF SANITARY SEWAGE, 310 CMR 15.001 THROUGH 15.505. UNLESS OTHERWISE NOTED.
- 15.) THE EXISTING SEPTIC TANK AND PUMP TANK SHALL BE INSPECTED FOR LEAKAGE AND REPLACED IF NECESSARY.

DESIGN CALCULATIONS

<u>DESIGN FLOW (STATE)</u>	
12 BDRMS X 110 GPD/BDRM=	1,320 GPD
12,360 S.F. (RETAIL) X 50 GPD/1,000 S.F.=	618 GPD
TOTAL (STATUARY STATE) FLOW	1,938 GPD
DESIGN FLOW (LOCAL)	
12 BDRMS X 165 GPD/BDRM=	1,980 GPD
12,360 S.F. (RETAIL) X 50 GPD/1,000 S.F.=	618 GPD
TOTAL DESIGN FLOW	2,598 GPD
DESIGN PERCOLATION RATE:	6 M.P.I
SOIL CLASS:	Π
LTAR	0.60
LEACH FIELD REQUIRED= <u>2,598</u> GAL. x 1/ <u>0.6</u> GPD/S.F. = <u>4</u>	1,330 S.F.
USE QUICK 4 STD. LP INFILTRATOR CHAMBER <u>4.73</u> S.F./L.F.	
<u>4,330</u> S.F./ <u>4.73</u> S.F./L.F.= <u>916</u> L.F. (229 CHAMBERS)	
USE <u>230</u> INFILTRATOR CHAMBERS IN A <u>10</u> x <u>23</u> CONFIGUR	ATION= <u>920</u> L.F.
EFFECTIVE AREA PROVIDED: 4.73 S.F./L.F. x 920 L.F. = 4.3	<u>52</u> S.F.
SEPTIC TANK REQUIRED: 200% X 2,598 GAL=	5,196 GAL
SEPTIC TANK PROVIDED: (EXIST.)=	6,000 GAL

RESERVE AREA CALCULATIONS

(USE EXISTING S.A.S. AND AREA, PRESSURE DOSED-6 M.P.I.) 1,938 GPD/0.60 GPD/S.F. = 3,230 S.F.WITH 25% REDUCTION = 3,230 (0.75) = 2,423 S.F. USING CULTEC CONTRACTOR 100 CHAMBERS IN A BED CONFIGURATION 2,423 S.F./5.0 S.F./FT. = 485 FT. OF CHAMBERS USE 10 ROWS X 7 CHAMBERS $[(7 \times 7.4') + 0.6'] \times 10 = 52.4$ FT. LEACH BED PROVIDED: 70 CHAMBERS, 30 FT. WIDE X 52.4 FT. LONG (SEE SANITARY DISPOSAL SYSTEM PLAN BY HAYES ENGINEERING, INC. APPROVED 11-18-09 BY GEORGETOWN B.O.H. FOR DESIGN AND TEST PITS IN RESERVE AREA)

PROPOSED SITE IMPROVEMENT AND SUBSURFACE SEWAGE DISPOSAL SYSTEM PLAN

GEORGETOWN, MA

65 CENTRAL STREET PREPARED FOR

JD LAGRASSE & ASSOCIATES INC. ONE ELM SQUARE ANDOVER, MA 01810

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PROPOSED SITE PLAN SHEET 3 OF 4

