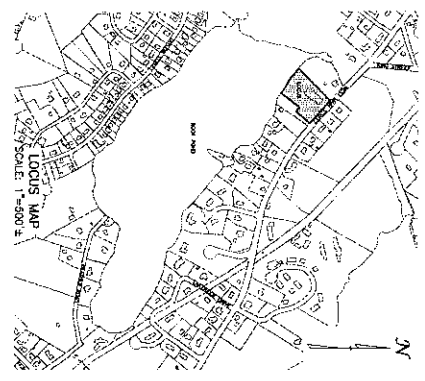
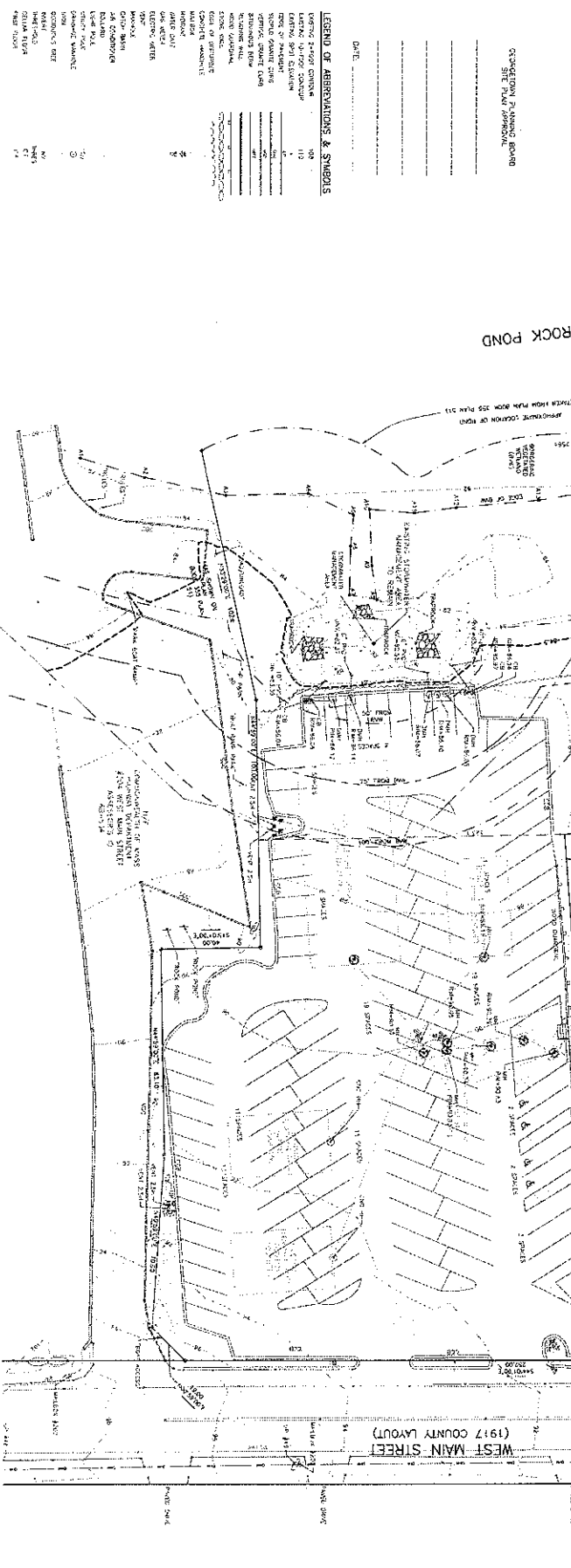




NOTES:
 1) EXISTING SHOWN, USE BASED ON NORTH AMERICAN OFFICIAL DATA OF 1988 (UNLESS NOTED OTHERWISE).
 2) EXISTING CONDITIONS SHOWN IS THE RESULT OF A FIELD SURVEY PERFORMED BY WILLIAMS & SPARGES ON MAY 24, 2017.

PLAN INDEX	
SHEET DESCRIPTION	SHEET
EXISTING CONDITIONS PLAN	1
LANDSCAPE PLAN	2
BRIDGE, EROSION, & UTILITY PLAN	3
LANDSCAPE PLAN	4
PROPOSED PLAN	5
SITE DETAILS PLAN	6



ZONE: RA, RESIDENTIAL A
 MINIMUM LOT AREA: 15,000 S.F.
 MINIMUM LOT FRONTAGE: 125 FEET
 MINIMUM SETBACKS:
 FRONT YARD: 20 FEET
 SIDE YARD: 10 FEET
 REAR YARD: 10 FEET
 MAX. LANDSCAPED OPEN SPACE: 2,000 S.F.
 * PROPERTY LIES WITHIN THE WHITE RESOURCE RESERVATION DISTRICT (WRRD).

ASSESSORS MAP REFERENCE:
 MAP 02 LOT 31
PROPERTY ADDRESS:
 206 WEST MAIN STREET
 GEORGETOWN, MA 01833

DEED REFERENCES:
 DEED 3019 PAGE 300
 RECORDED AT THE ESSD STONY
 RESERVATION OF 2016 (1900)

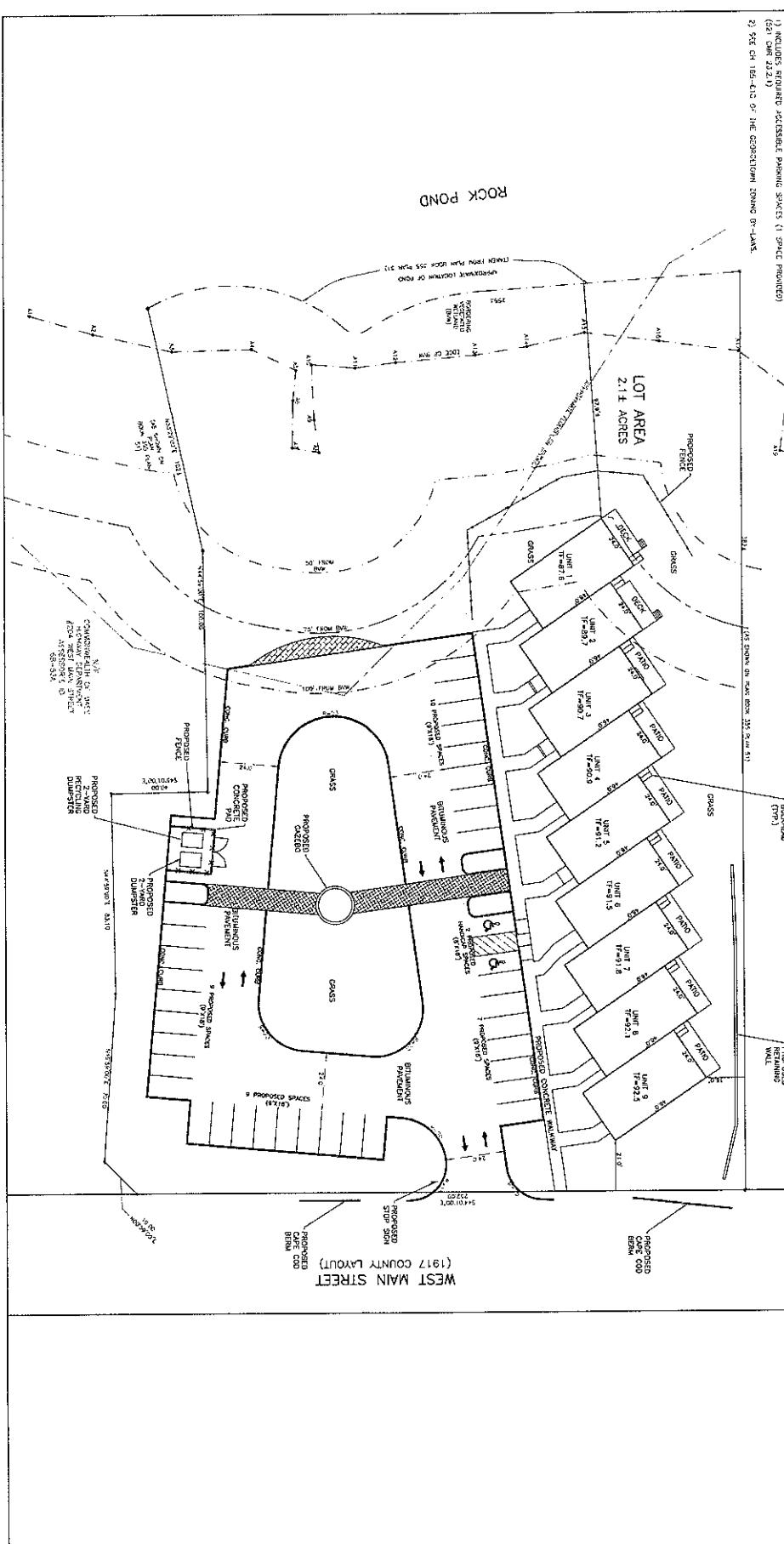
EXISTING CONDITIONS 206 WEST MAIN STREET, GEORGETOWN, MA		Designed By: TJR Drawn By: TJR Reviewed By: RLW Project Manager: RLW Job File Number: GEOR-0058 Drawing File Folder: GEOR58		
DRAWING: EC SHEET 1 OF 6	SCALE: 1"=20' JULY 27, 2022	☒ Drawing Issued for Review Only ☐ Drawing Issued for Permit ☐ Drawing Issued for Construction		
DATE: _____				

ZONE: RA (RESIDENTIAL A)		
EXISTING	PROPOSED	
MINIMUM LOT AREA	15,000 sq ft	15,000 sq ft
MINIMUM LOT FRONTAGE	119 ft	292 ft
MINIMUM FRONT SETBACK	30 ft	30 ft
MINIMUM SIDE SETBACK	10 ft	10 ft
MINIMUM REAR SETBACK	10 ft	10 ft
MINIMUM LOT DEPTH	100 ft	100 ft
MINIMUM OPEN SPACE REQUIRED	15,000 sq ft	15,000 sq ft
MINIMUM BUILDING FOOTPRINT	15,000 sq ft	15,000 sq ft
MINIMUM BUILDING HEIGHT	15,000 sq ft	15,000 sq ft

NOTE: 1) INCLUDES REQUIRED ACCESSIBLE PARKING SPACES (1 SPACE PROVIDED)
(2) SEE CH 165-410 OF THE GEORGETOWN ZONING BY-LAWS

PARKING CALCULATIONS PER ZONING:		
CATEGORY	REQUIRED	PROVIDED
2 SPACES PER DWELLING UNIT	2 SPACES X 9 UNITS = 18 SPACES	17 SPACES

NOTE: 1) INCLUDES REQUIRED ACCESSIBLE PARKING SPACES (1 SPACE PROVIDED)
(2) SEE CH 165-410 OF THE GEORGETOWN ZONING BY-LAWS



LAYOUT PLAN
205 WEST MAIN STREET, GEORGETOWN, MA

DRAWING: LP
SHEET 2 OF 6

SCALE: 1" = 20'
JULY 27, 2022

DESIGNED BY: TJR
DRAWN BY: TJR
REVIEWED BY: RLW
PROJECT MANAGER: RLW
JOB FILE NUMBER: GEOR-0058
DRAWING FILE FOLDER: GEOR58

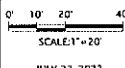
☐ Drawing issued for Review Only
☒ Drawing issued for Permit
☐ Drawing issued for Construction

WILLIAMS SPARAGHES
ARCHITECTS & ENGINEERS
100 WEST MAIN STREET
GEORGETOWN, MA 01936
PHONE: 508-863-1111
FAX: 508-863-1112
WWW.WILLIAMS-SPARAGHES.COM

[illegible]

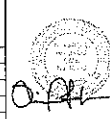
205 WEST MAIN STREET, GEORGETOWN, MA.

SHEET 3 OF 6

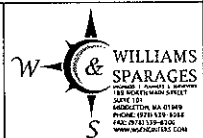


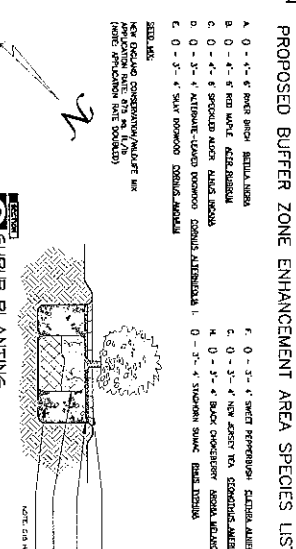
JULY 27, 2022

SEAL

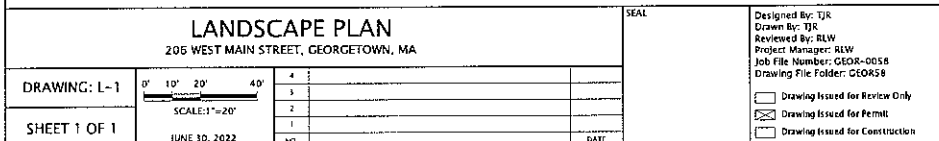


☐ Drawing issued for Review Only
☒ Drawing issued for Permit
☐ Drawing issued for Construction





APPROXIMATE LOCATION OF RIND
- (RIND FROM PLAN ROOM 305 PLAN 51)



20' 40'

SCALE: 1"=20'

NE 10, 2022

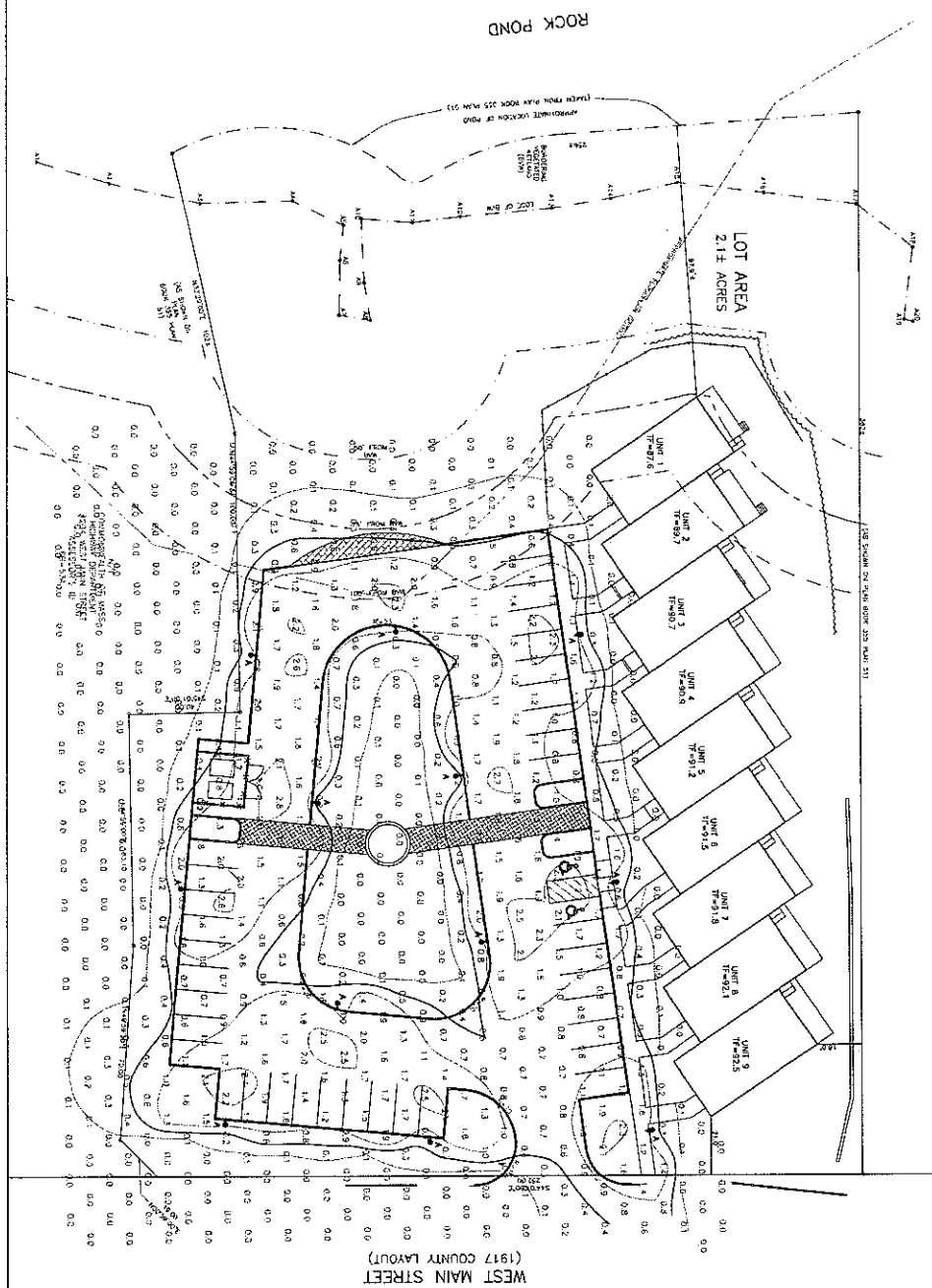
4	
3	
2	
1	

1000

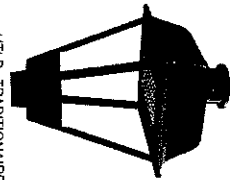
SYMBOL	QUANTITY	DESCRIPTION	UNIT	PERCENT	TYPE	UNIT	PHOTOMETRIC FILE
⊙	12	UTD-PAI-50-550-U-HSS UTD-PAI-50-550-U-HSS SELECTED BY OTHERS	12	100%	9	0.55	UTD-PAI-50-550-U-HSS

GENERAL PHOTOMETRIC SCHEDULE

- NOTES:
1. ACCOUNT LOCATIONS TO BE DETERMINED.
 2. LUMINAIRE VALUES SELECTED FROM MANUFACTURER'S PHOTOMETRIC DATA.
 3. ATTENUATION VALUES SHOWN REPRESENT MAINTAINED HORIZONTAL.
 4. FOOT CANDLE VALUES SHOWN DO NOT ACCOUNT FOR LIGHT REFLECTION.
 5. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 6. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 7. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 8. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 9. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 10. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 11. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.
 12. THERE ARE NO LIGHT FIXTURES SHOWN ON EXISTING OR PROPOSED.



UTD TRADITIONAIRE
NOT TO SCALE



PHOTOMETRIC PLAN
205 WEST MAIN STREET, GEORGETOWN, MA

DRAWING: SP-1

SHEET 5 OF 6

SCALE: 1"=20'

JULY 27, 2022

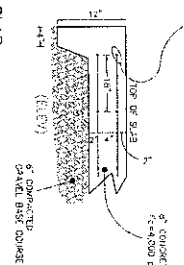
SEAL

Designed By: TJR
Drawn By: TJR
Reviewed By: RLW
Project Manager: RLW
Job File Number: GEOR-0058
Drawing File Folder: GEOR58

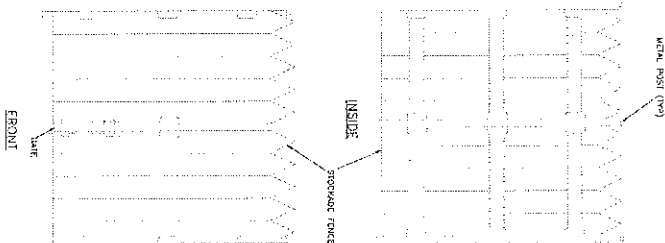
☒ Drawing Issued for Review Only
☒ Drawing Issued for Permit
☐ Drawing Issued for Construction

W & S

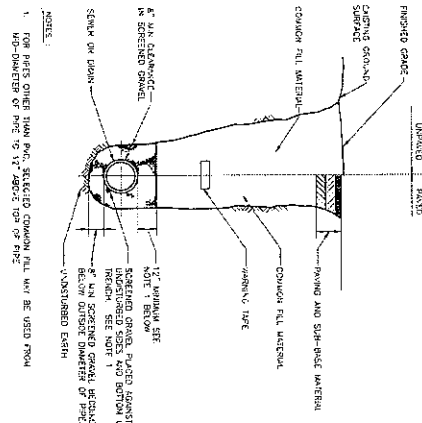
WILLIAMS SPARAGES
125 NORTH MAIN STREET
SUITE 102
ROCHESTER, MA 01518
PHONE: (508) 338-4000
FAX: (508) 338-4100
WWW.WILLIAMS-SPARAGES.COM



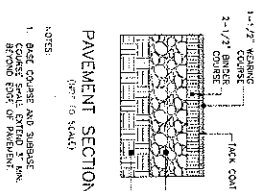
CONCRETE SLAB
(DUMPS TER)
DETAIL
(NOT TO SCALE)



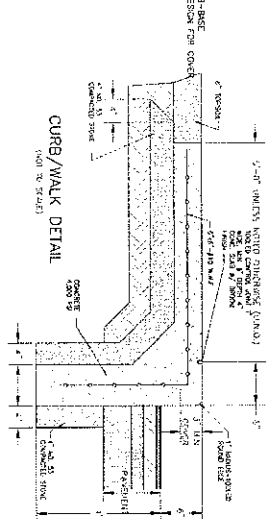
DUMPSTER ENCLOSURE
DETAIL
(NOT TO SCALE)



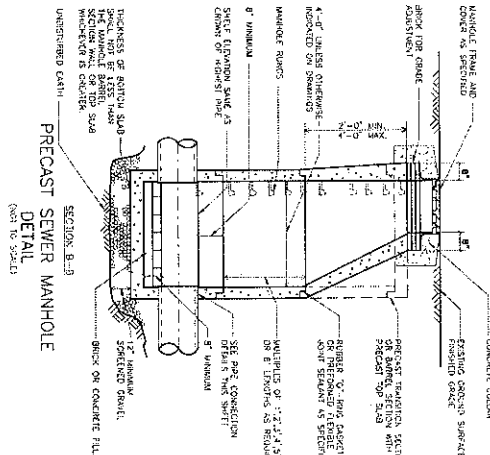
TRENCH DETAIL FOR
GRAVITY PIPE
(NOT TO SCALE)



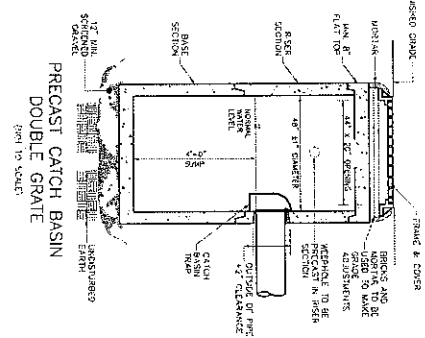
PAVEMENT SECTION



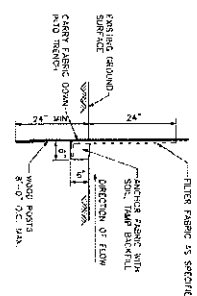
CURB/WALK DETAIL



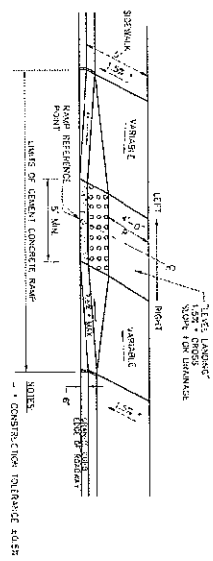
**PRECAST SEWER MANHOLE
DETAIL**
(NOT TO SCALE)



PRECAST CATCH BASIN
DOUBLE GRATE
Feet to Scale



**SILT FENCE
DETAIL**
(NOT TO SCALE)



WHEELCHAIR RAMP
DETAIL