

WETLAND PROTECTION ACT AND BYLAW STATEMENT:

THIS SUBDIVISION DOES NOT INVOLVE THE REMOVAL, FILLING, DREDGING OR ALTERING OF ANY BANK, MEADOW, OR SWAMP BORDERING ON ANY STREAM POND, OR ANY LAND SUBJECT TO FLOODING. WETLAND DELINEATED BY SEEKAMP ENVIRONMENTAL CONSULTANTS.

FLOODPLAIN STATEMENT:

PART OF THIS SUBDIVISION AREA IS WITHIN THE 100 YEAR FLOODPLAIN DISTRICT (EL=84) SHOWN ON THE FLOODPLAIN ZONING ON FILE AT THE OFFICE OF THE GEORGETOWN TOWN CLERK, OR AS SHOWN ON FEMA FIRM MAPS REVISED 7-2-12. NO DISTURBANCE OF FLOODPLAIN IS PROPOSED.

ZONING DISTRICT:

RESIDENTIAL - A (WATER RESOURCE OVERLAY)
REQUIRED: PROVIDED:

LOT AREA: 15,000 S.F. (15,000 CBA) 15,000 S.F.± MIN. (15,000 CBA)
LOT FRONTAGE: 125' 125' MIN.

YARD SETBACKS:

FRONT:	20'	20' MIN
SIDE:	15'	15' MIN
REAR:	10'	10' MIN

WATERSHED PROTECTION:	REQUIRED:	PROVIDED:
MAXIMUM IMPERVIOUS COVER:	40%	7897/37048 = 20.8%
MINIMUM OPEN SPACE:	60%	79.2%

GENERAL DESIGN NOTES:

1. THE DEEDS FOR LOTS 57 AND 57A SHALL CONTAIN A RESTRICTION THAT THE OWNERSHIP OF MERRILL COURT, RIGHT OF WAY SHALL REMAIN IN THE TITLE OF THE OWNERS OF LOTS 57 AND 57A.
2. ALL MAINTENANCE OF THE MERRILL COURT, RIGHT OF WAY SHALL PERMANENTLY BE THE RESPONSIBILITY OF THE OWNER OF LOTS 57 AND 57A.
3. MERRILL COURT SHALL PERMANENTLY BE A PRIVATE WAY FOR ACCESS TO LOTS 57 AND 57A ONLY.
4. THERE SHALL BE NO FURTHER SUBDIVISION OF THE LOTS SHOWN ON THIS PLAN. NO MORE THAN ONE SINGLE FAMILY HOME WILL BE CONSTRUCTED ON EACH LOT SHOWN HEREON, AS STATED IN THE RESTRICTIVE COVENANTS TO BE RECORDED WITH THE DEEDS.
5. MERRILL COURT WILL REMAIN PRIVATE, NO ACCESS TO MAP 6B LOTS 58 OR 59A IS PROPOSED.

EASEMENT NOTE:

6. ALL PROPOSED EASEMENTS SHALL BE RETAINED BY THE TOWN OF GEORGETOWN, AND/OR THE OWNERS OF LOTS 57 AND 57A.

LIST OF DRAWINGS

SHEET 1	COVER SHEET
SHEET 2	PERIMETER & EXIST CONDITIONS SITE PLAN
SHEET 3	PLAN OF LOTS
SHEET 4	PROPOSED DRAINAGE & GRADING DESIGN
SHEET 5	PLAN AND PROFILE ~ MERRILL COURT
SHEET 6	CONST. DETAILS & EROSION CONTROL NOTES

BENCHMARK: N.G. ID: MY407
U.S.C. & G.S. SURVEY DISK STAMPED X35 1966
BENCHMARK DISK: DATUM NGVD 1929
ELEVATION = 104.45' (103.62' ADJ. TO NVD 1988)
DESCRIPTION: LOCATED 0.65 MILE WEST ALONG ROUTE 97 FROM THE JUNCTION OF ROUTE 133, AT REAR OF BUILDING #161 WEST MAIN ST HOUSING THE "PENTUCKET WORKSHOP"; A DISK SET IN THE TOP OF A 5'W x 6'L x 2'H ROCK LOCATED 120' FROM CENTER OF THE ROAD AND 15' NORTHEAST OF THE NORTHWEST CORNER OF THE BUILDING. TRANSFERRED TO E.C. STONE BND LOCATED AT #196 WEST MAIN ST. SOUTH SIDE OF STREET, TOP BACK CENTER OF BOUND.
ELEV = 106.00' (NVD 1988)

OWNER/APPLICANT:

OPM ADVENTURES, LLC
C/O DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833
MAP 6B LOT 57
BK 37122 PG 444
BK 32796 PG 430



CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

DEFINITIVE SUBDIVISION PLAN

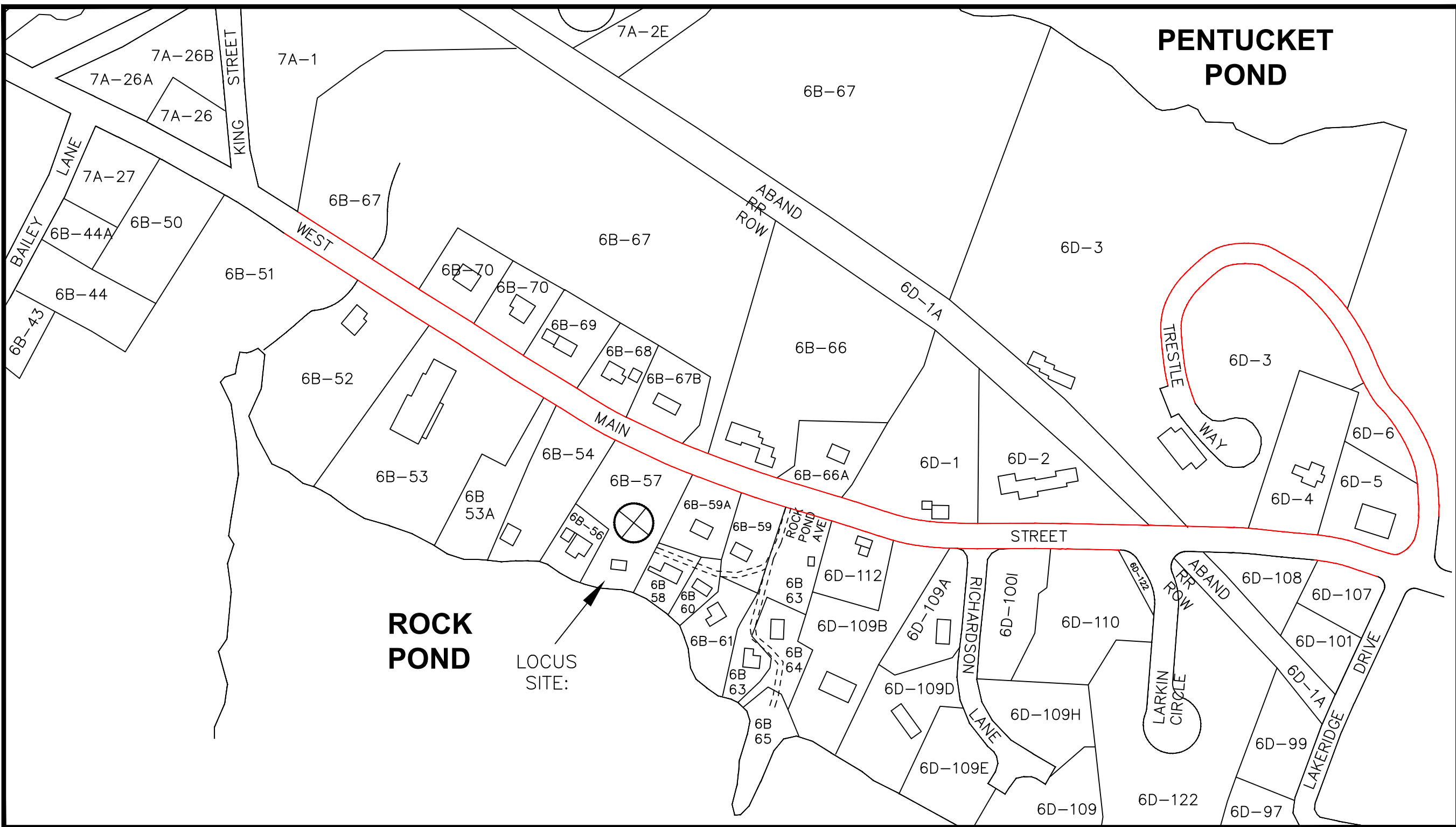
MERRILL COURT

(A PRIVATE WAY ~ FOR TWO SINGLE FAMILY LOTS)

LOCATED AT 196 WEST MAIN STREET

MAP 6B ~ PARCEL 57

GEORGETOWN, MASSACHUSETTS

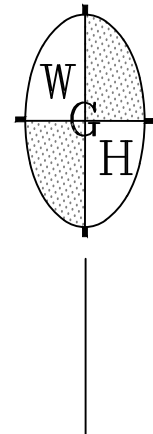


LOCUS PLAN

SCALE 1"=200'

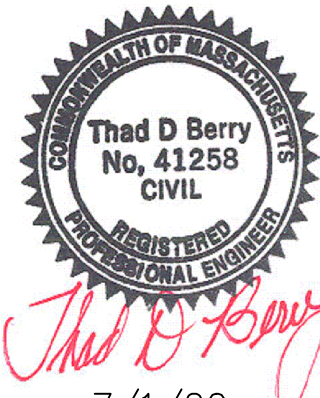
SURVEYOR:

WILLIAM G. HOLT, PLS,RS
LAND SURVEY & DESIGN SERVICES
83 WEST MAIN STREET
MERRIMAC, MA 01860
TEL: 978-257-4576



ENGINEER:

ASB design group
THAD BERRY, PE
363 BOSTON STREET
TOPSFIELD, MA 01983
TEL: 978-500-8419



TOWN OF GEORGETOWN
OFFICE OF THE TOWN CLERK
THIS IS TO CERTIFY THAT ON _____
I RECEIVED FROM THE GEORGETOWN PLANNING BOARD
CERTIFICATION OF ITS APPROVAL OF THIS PLAN AND THAT DURING
THE (20) TWENTY DAYS NEXT FOLLOWING, I HAVE RECEIVED NO
NOTICE OF ANY APPEAL FROM SAID DECISION.

APPLICATION FILED: 4-14-19
HEARING DATE: 6-6-19
FINAL PLAN APPROVED: _____
PLAN ENDORSED: _____

TOWN CLERK: _____ DATE _____

APPROVED: _____
SUBJECT TO COVENANT, CONDITIONS SET FORTH
IN A COVENANT EXECUTED BY: _____
DATED: _____
AND TO BE RECORDED HEREWITH.

REVISION: #1 9-14-19 REVIEW COMMENTS - WGH
REVISION: #2 10-9-19 REVIEW COMMENTS - WGH
REVISION: #3 3-2-20 DESIGN CHANGES - WGH
REVISION: #4 7-1-20 REVIEW COMMENTS - WGH

FOR REGISTRY USE ONLY:	PLANNING BOARD USE ONLY:
	TOWN OF GEORGETOWN PLANNING BOARD APPROVAL IS REQUIRED:
	DATE: _____

WAIVERS REQUESTED:

WAIVERS ARE REQUESTED FROM THE FOLLOWING SUBDIVISION REGULATIONS: MINIMUM DESIGN STANDARDS FOR COURTS: FOR MERRILL COURT	
REGULATION:	REQUIRED BY REGULATION:
1. 365-35 (B)	TITLE BLOCK LAYOUT.
2. 365-35 (C)	STREET NAME IN PENCIL
3. 365-38(C)	PROPERTY LINE RAD=30' AT INT OF ROADWAYS **
	AS SHOWN HEREON. STREET NAME IN INK. 10' PROPERTY LINE RADIUS AT EASTERLY SIDE OF THE INTERSECTION OF MERRILL CT. WITH WEST MAIN ST. 30' PROPERTY LINE RADIUS AT WESTERLY SIDE OF THE INTERSECTION OF MERRILL CT. WITH WEST MAIN ST.

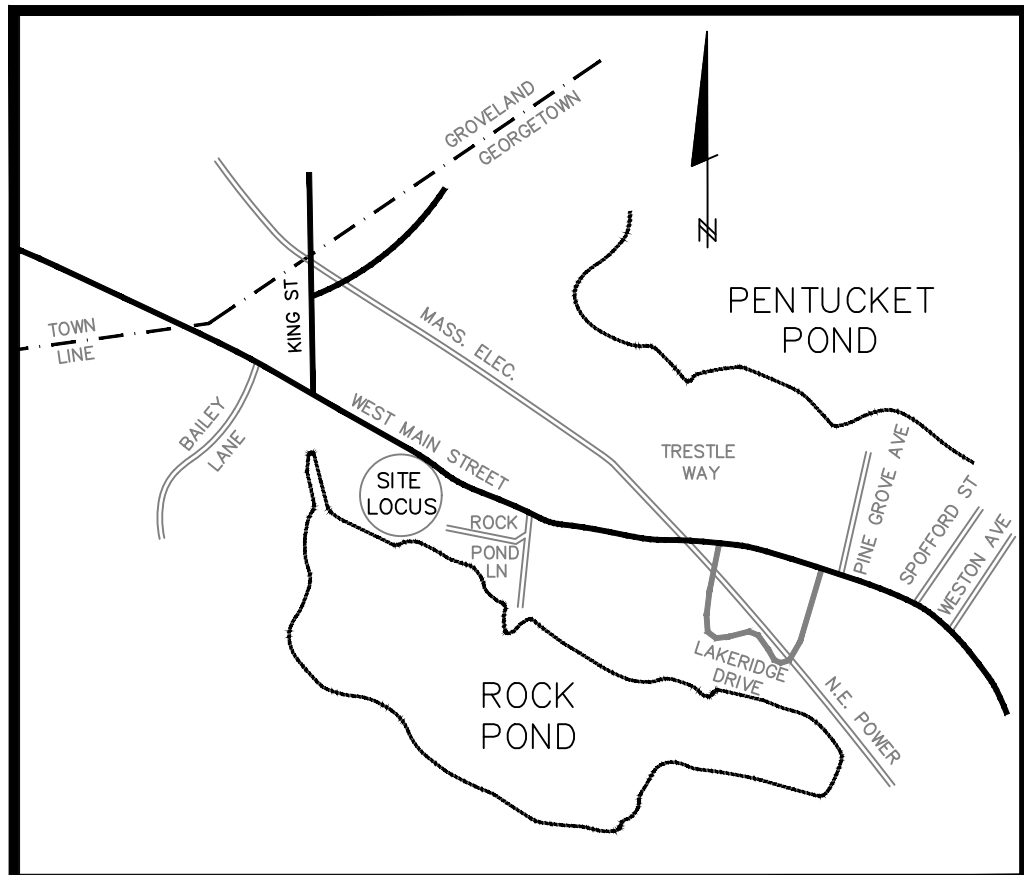
** A PAVEMENT RADIUS OF 25' WILL BE MAINTAINED AT ALL INTERSECTIONS IN CONFORMANCE WITH THE REQUIREMENTS OF THE FIRE CODE.

LEGEND: (APPLICABLE TO ALL SHEETS)

RET.	RETAIN	---	---	EXISTING CONTOUR
⊙	DRAIN MANHOLE	---	---	PROPOSED CONTOUR
■	CATCH BASIN	---	---	UNDERGROUND DRAIN LINE
⊕	ELECTRIC HANDHOLE	---	---	UNDERGROUND SEWER LINE
⊗	STONE BOUND	---	---	UNDERGROUND ELECTRIC LINE
⊗	FIRE HYDRANT	---	---	UNDERGROUND WATER LINE
⊗	WATER GATE VALVE - WATER SHUT OFF	---	---	UNDERGROUND GAS LINE
⊗	GAS GATE VALVE	---	---	OVERHEAD WIRES
⊗	SIGN	---	---	FENCE
⊗	UTILITY POLE	---	---	STONE WALL
⊗	TREE - EVERGREEN/UNKNOWN/DECIDUOUS	---	---	PROPERTY LINE
⊗	SHRUB	---	---	VEGETATION LINE
100x0	EXISTING SPOT GRADE	---	---	PROPOSED HAYBALES, SILT FENCE, OR SILT SOCK
P100x0	PROPOSED SPOT GRADE	---	---	

GENERAL NOTES:

1. THE LOCATION OF ALL UTILITIES AND SUBSURFACE STRUCTURES ARE FROM MUNICIPAL AND CORPORATE RECORD AND ARE APPROXIMATE AS TO THEIR SIZE, LOCATION AND DEPTH. THEY ARE INDICATED ON THESE DRAWINGS TO PROVIDE CONTRACTOR(S) WITH A GENERAL IDEA OF THE EXISTING CONDITIONS WHICH ARE TO BE CONFIRMED BY THE INDIVIDUAL CONTRACTOR(S). IT IS UNDERSTOOD AND AGREED THAT EACH CONTRACTOR(S) SHALL MAKE EXAMINATIONS IN THE FIELD BY VARIOUS METHODS AND OBTAIN INFORMATION FROM UTILITY COMPANIES AND OTHERS AS TO THE LOCATION OF ALL SUBSURFACE STRUCTURES.



~ LOCUS ~
1"=1000'

ZONING DATA: DISTRICT RA
MINIMUM LOT AREA: 15,000 S.F.
MINIMUM FRONTAGE: 125.00'
MINIMUM YARDS:
FRONT: 20'
SIDE: 15'
REAR: 10'

MIN. DEPTH 100.0'

NO DETERMINATION OF COMPLIANCE WITH
ALL ZONING REQUIREMENTS HAS BEEN MADE.

SOIL LOG

SOIL EVALUATOR WILLIAM G. HOLT SE#1083
DATE: 10-7-18

TEST PIT # 19-5

ELEV = 121.3'

8"	A - F.S.L. 10YR 3/3
21"	BW - F.S.L. 10YR 5/6
138"	C - M.L.S. 2.5Y 5/4
	15% BOULDERS 12"Ø TO 18"Ø

TEST PIT # 19-6

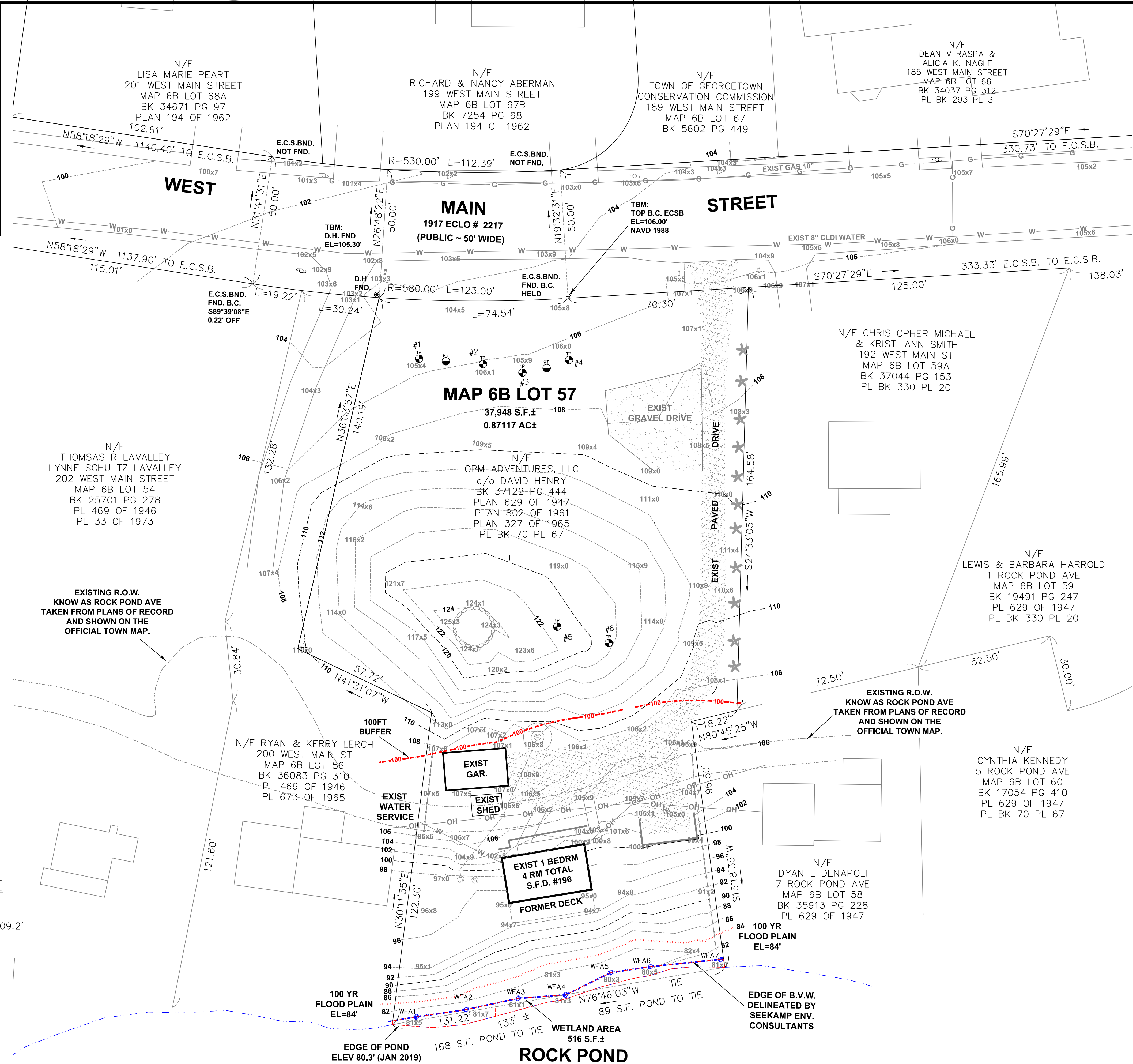
ELEV = 119.4'

8"	A - F.S.L. 10YR 3/3
22"	BW - F.S.L. 10YR 5/6
122"	C - M.L.S. 2.5Y 5/4
	15% BOULDERS 12"Ø TO 18"Ø

WATER TABLE

NONE OBSERVED NONE OBSERVED

NONE ESTIMATED =109.8' NONE ESTIMATED =109.2'



~ PLAN OF LAND ~

1" = 20'

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW IS REQUIRED:
TOWN OF GEORGETOWN.
PLANNING BOARD:

DATE:

FOR REGISTRY USE ONLY

FOR PLANNING BOARD USE ONLY

DEFINITIVE SUBDIVISION PLAN MERRILL COURT

LOCATED IN
GEORGETOWN
MASSACHUSETTS

PREPARED FOR

OWNER ~ APPLICANT:

OPM ADVENTURES,LLC
c/o DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833

PREPARED BY

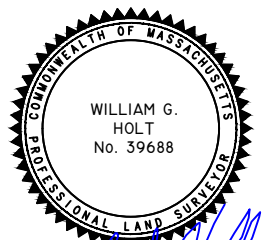
WGH LAND SURVEY
& DESIGN

83 W. MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
EMAIL: BILLGHOLT@AOL.COM

ASSESSOR DATA:

GEORGETOWN:MAP: 6B
PARCEL: 57

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.

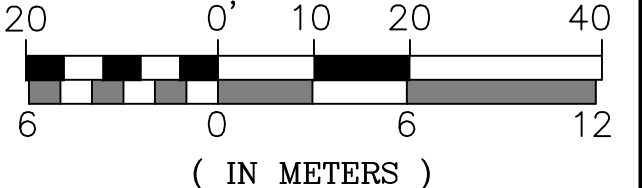


WILLIAM G. HOLT PLS #39688
3/3/20

GRAPHIC SCALE

1 inch = 20 ft.

(IN FEET)



SHEET TITLE:

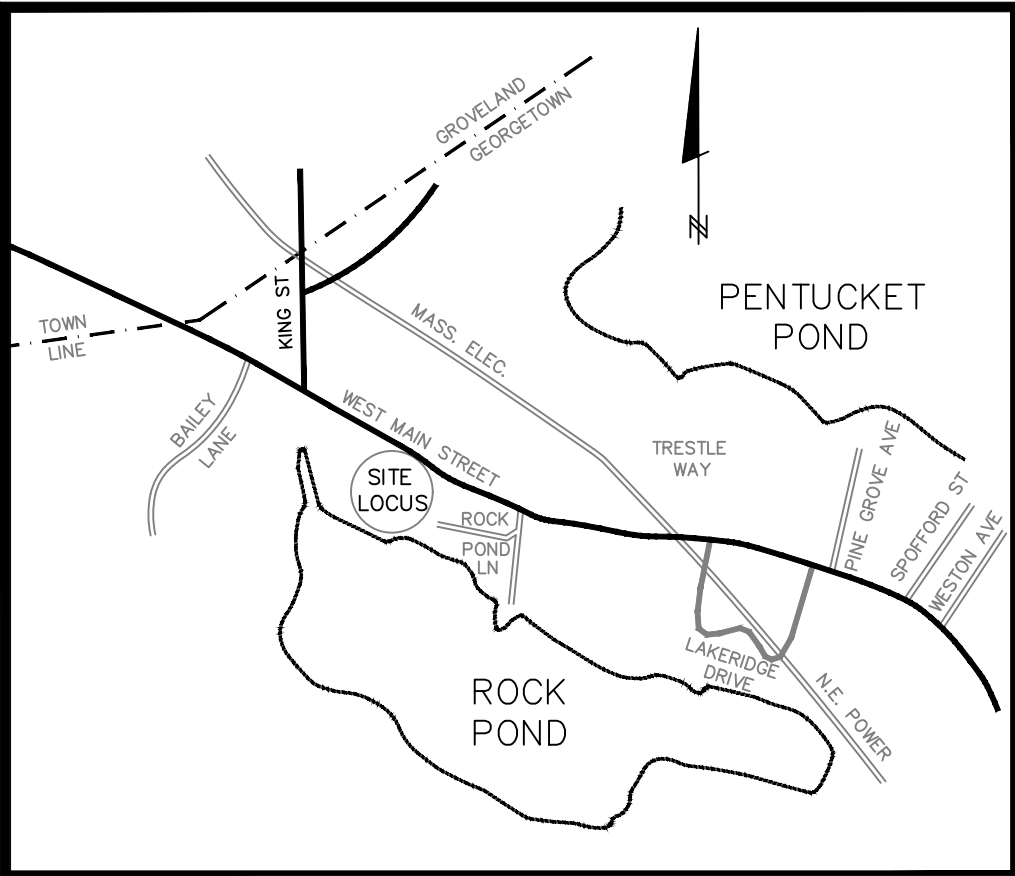
EXISTING SITE PLAN &
PERIMETER BOUNDARY
196 WEST MAIN STREET

DRAWN:	SEH, WGH
DESIGNED:	WGH,TDB
CHECKED:	WGH,TDB
DATE:	29 MAR 2019
CAD FILE:	WGH/OPM_19/196-WM DEF
JOB No.	19-0013 SVE

LOCUS DEED: BK 37,122 PG 444
PLANS:#629-1947,327-1965,802-1961

REVISION :	BY
#1 REVIEW COMMENTS 9/14/19	WGH
#2 REVIEW COMMENTS 10/9/19	WGH
#3 DESIGN CHANGE 3/2/20	WGH

SHEET No. **2 OF 6**



~ LOCUS ~

1"=1000'

ZONING DATA: DISTRICT RA
MINIMUM LOT AREA: 15,000 S.F.
MINIMUM FRONTAGE: 125.00'
MINIMUM YARDS:

FRONT: 20'
SIDE: 15'
REAR: 10'

MIN. DEPTH 100.0'

NO DETERMINATION OF COMPLIANCE WITH
ALL ZONING REQUIREMENTS HAS BEEN MADE.

N/F
THOMAS R LAVALLEY
LYNNE SCHULTZ LAVALLEY
202 WEST MAIN STREET
MAP 6B LOT 54
BK 25701 PG 278
PL 469 OF 1946
PL 33 OF 1973

RADIAL TABLE:

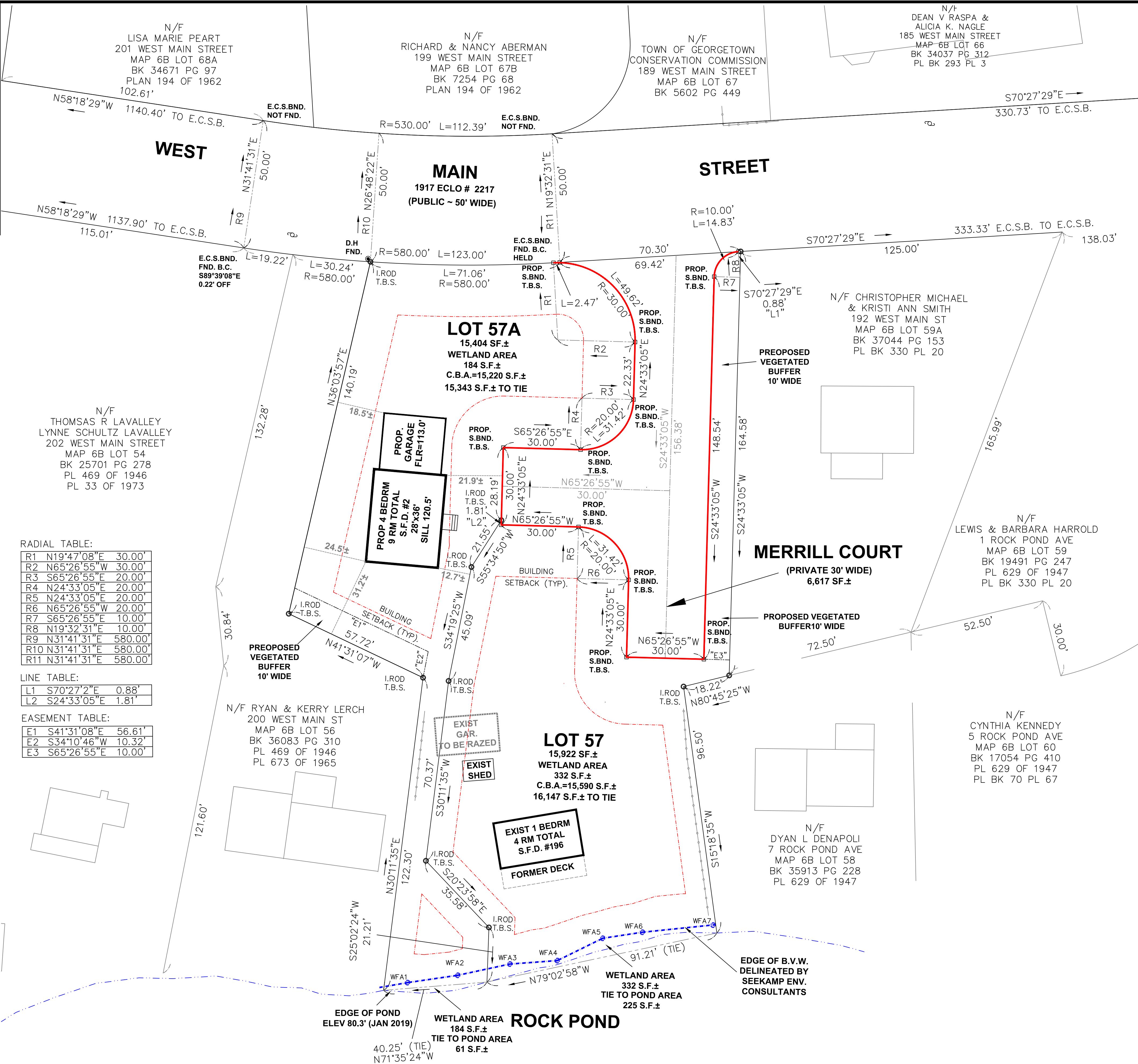
R1	N19°47'08"E	30.00'
R2	N65°26'55"W	30.00'
R3	S65°26'55"E	20.00'
R4	N24°33'05"E	20.00'
R5	N24°33'05"E	20.00'
R6	N65°26'55"W	20.00'
R7	S65°26'55"E	10.00'
R8	N19°32'31"E	10.00'
R9	N31°41'31"E	580.00'
R10	N31°41'31"E	580.00'
R11	N31°41'31"E	580.00'

LINE TABLE:

L1	S70°27'2"E	0.88'
L2	S24°33'05"E	1.81'

EASEMENT TABLE:

E1	S41°31'08"E	56.61'
E2	S34°10'46"W	10.32'
E3	S65°26'55"E	10.00'



~ PLAN OF LAND ~

1" = 20'

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW IS REQUIRED:
TOWN OF GEORGETOWN.
PLANNING BOARD:

DATE:

FOR REGISTRY USE ONLY

FOR PLANNING BOARD USE ONLY

DEFINITIVE SUBDIVISION PLAN MERRILL COURT

LOCATED IN
**GEORGETOWN
MASSACHUSETTS**
PREPARED FOR

OWNER ~ APPLICANT:
OPM ADVENTURES,LLC
c/o DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833

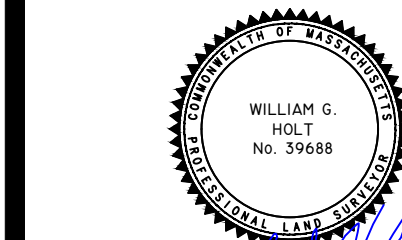
PREPARED BY
**WGH LAND SURVEY
& DESIGN**

83 W. MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
EMAIL: BILLGHOLT@AOL.COM

ASSESSOR DATA:

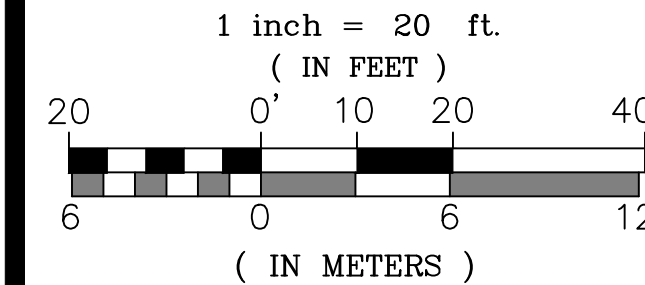
GEORGETOWN:MAP: **6B**
PARCEL: **57**

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.



3/3/20
WILLIAM G. HOLT PLS #39688

GRAPHIC SCALE



SHEET TITLE:

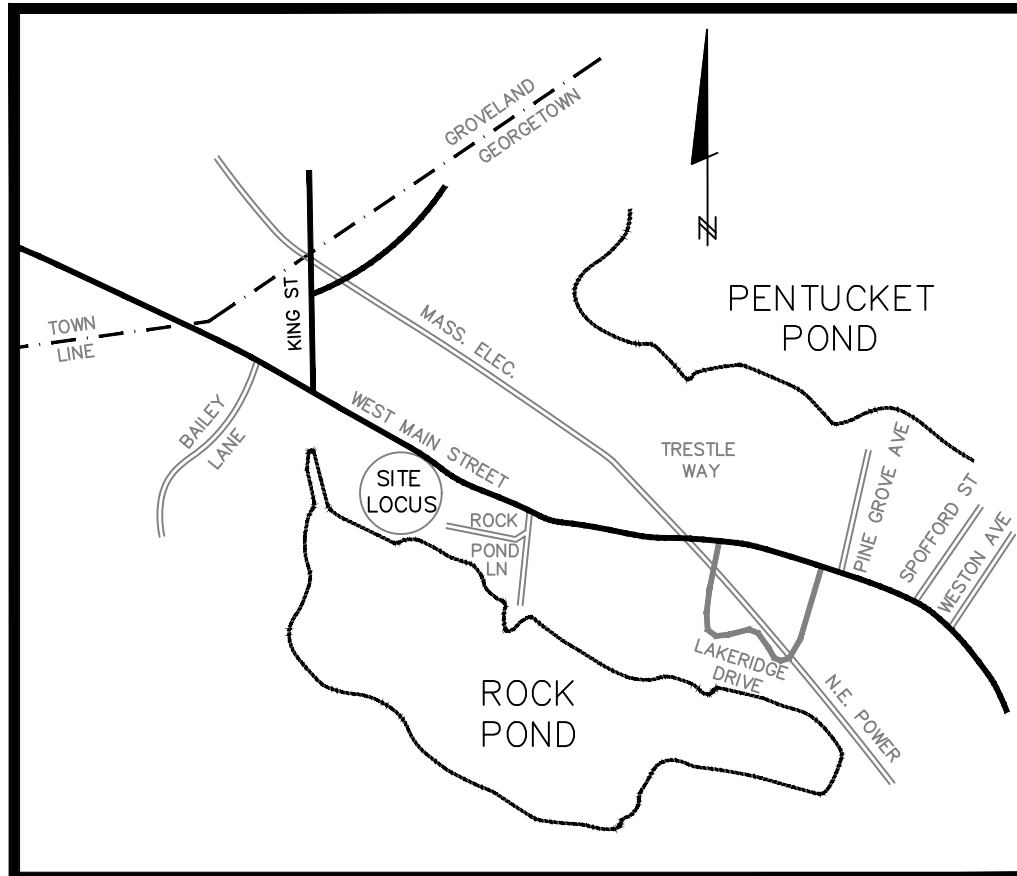
PROPOSED LOT CONFIGURATION PLAN LOTS 57 & 57A

DRAWN:	SEH, WGH
DESIGNED:	WGH, TDB
CHECKED:	WGH, TDB
DATE:	22 MAR 2019
CAD FILE:	WGH/OPM_19/196-WM DEF
JOB No.	19-0013 SVE

LOCUS DEED: BK 37,122 PG 444
PLANS: #629-1947, 327-1965, 802-1961

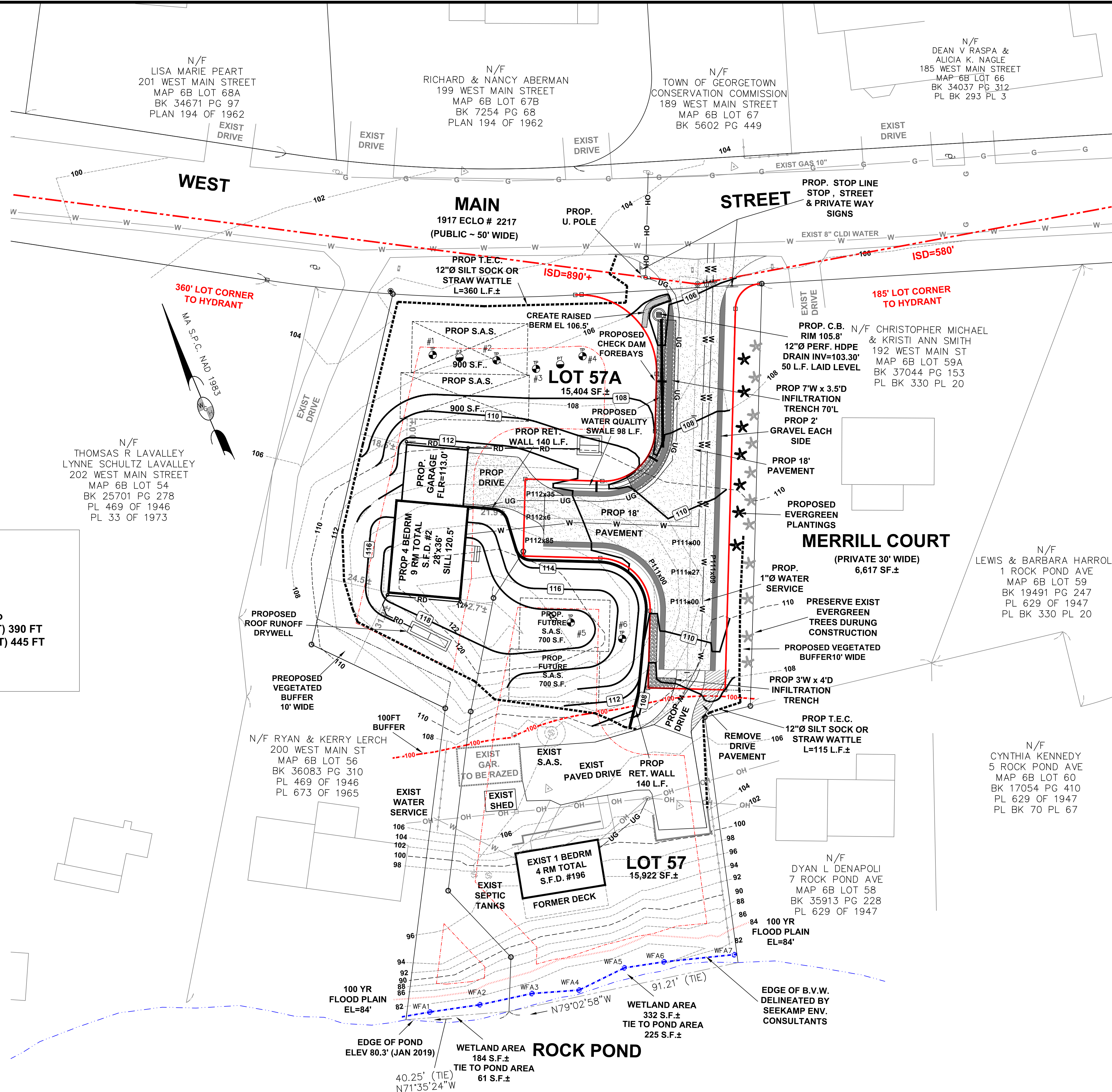
REVISION :	BY
#1 REVIEW COMMENTS 9/14/19	WGH
#2 BUILD INSP COMM, 9/18/19	WGH
#3 DESIGN CHANGES 3/2/20	WGH

SHEET No. **3 OF 6**



~ LOCUS ~
1"=1000'

SIGHT DISTANCE:
POSTED SPEED: 40 MPH EAST BOUND
35 MPH WEST BOUND
STOPPING SIGHT DISTANCE: AASHTO
REQUIRED: EAST BOUND 305 FT
WEST BOUND 250 FT
INTERSECTION SIGHT DISTANCE: AASHTO
REQUIRED: LEFT TURN (LOOK EAST) 390 FT
RIGHT TURN (LOOK WEST) 445 FT
SIGHT DISTANCE PROVIDED:
EAST BOUND: 580+ FT
WEST BOUND: 890+ FT



~ PLAN OF LAND ~
1" = 20'

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW IS REQUIRED:
TOWN OF GEORGETOWN.
PLANNING BOARD:

DATE:

FOR REGISTRY USE ONLY

FOR PLANNING BOARD USE ONLY

DEFINITIVE SUBDIVISION PLAN MERRILL COURT

LOCATED IN
GEORGETOWN
MASSACHUSETTS

PREPARED FOR

OWNER ~ APPLICANT:
OPM ADVENTURES, LLC
c/o DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833

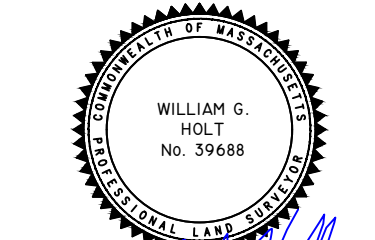
PREPARED BY
WGH LAND SURVEY
& DESIGN

83 W. MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
EMAIL: BILLG@AOL.COM

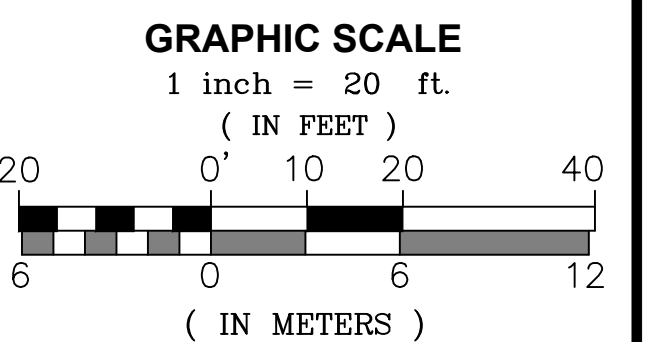
ASSESSOR DATA:

GEORGETOWN: MAP: 6B
PARCEL: 57

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.



7/1/20
WILLIAM G. HOLT PLS #39688



SHEET TITLE:

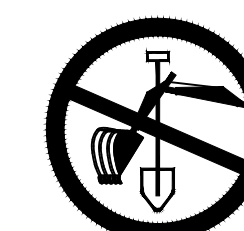
PROPOSED GRADING & DRAINAGE MERRILL COURT

DRAWN:	SEH, WGH
DESIGNED:	WGH, TDB
CHECKED:	WGH, TDB
DATE:	22 MAR 2019
CAD FILE:	WGH/OPM_19/196-WM DEF
JOB No.	19-0013 SVE

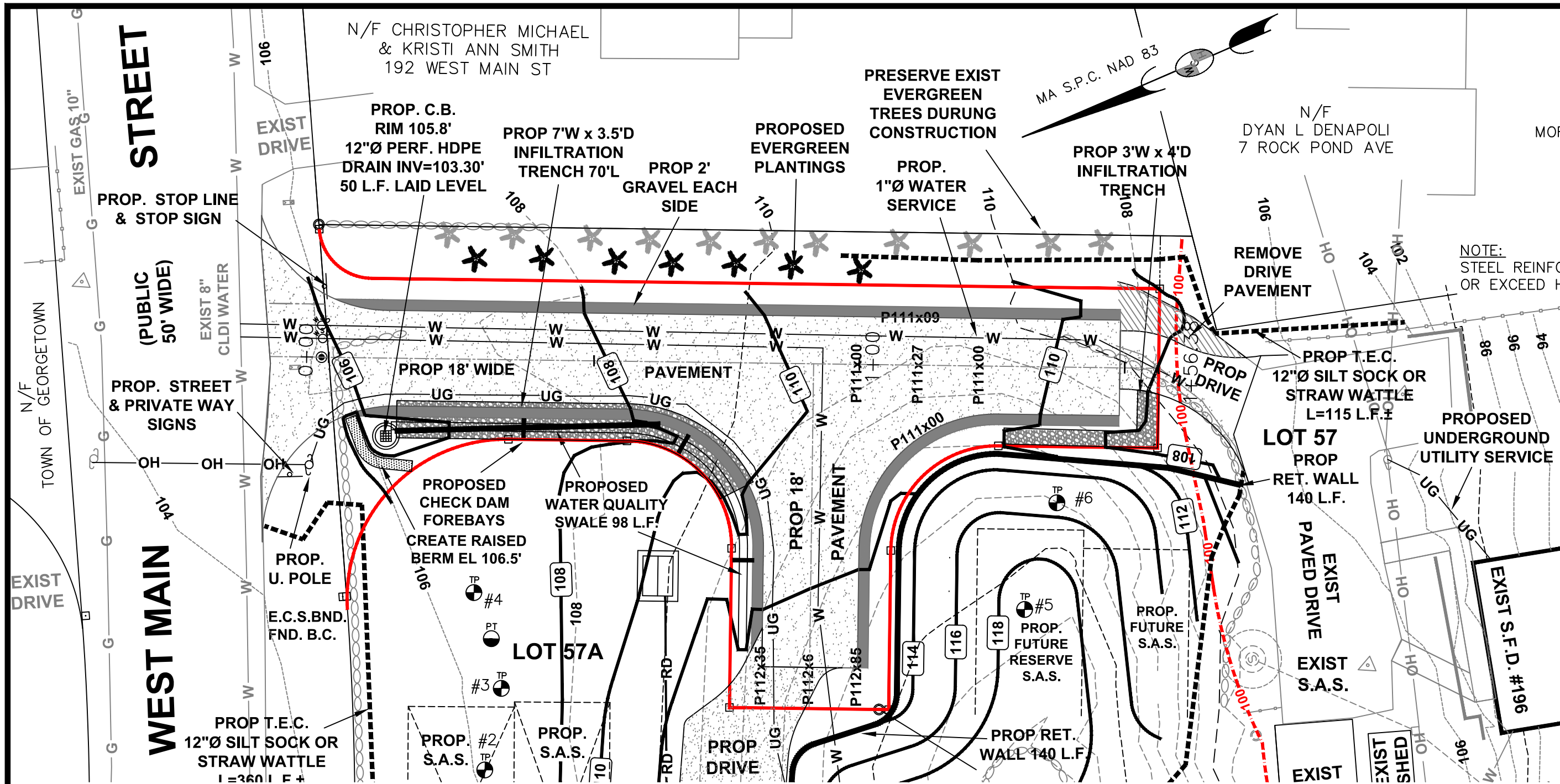
LOCUS DEED: BK 37,122 PG 444
PLANS: #629-1947, 327-1965, 802-1961

REVISION :	BY
#1 REVIEW COMMENTS 9/14/19	WGH
#2 REVIEW COMMENTS 10/9/19	WGH
#3 DESIGN CHANGES 3/2/20	WGH
#4 UG UTIL EX HOME 7/1/20	WGH

SHEET No. 4 OF 6



CALL
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1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE



~ MERRILL COURT ~ ~ PLAN VIEW ~

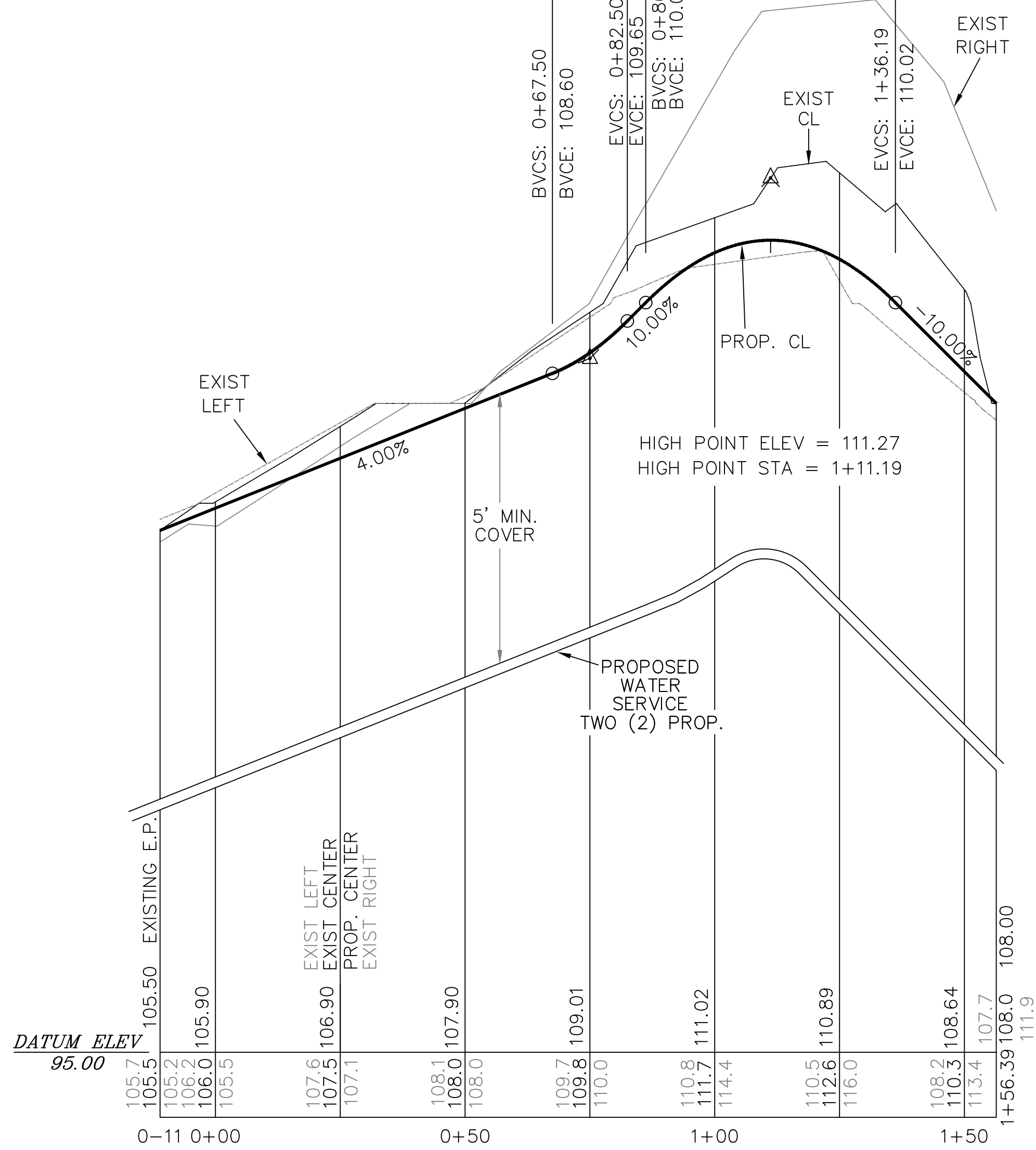
1" = 20'

PVI STA = 0+75
PVI ELEV = 108.90
A.D. = 6.00
K = 2.50
15' VC

PVI STA = 1+11.19
PVI ELEV = 112.52
A.D. = -20.00
K = 2.50
50' VC

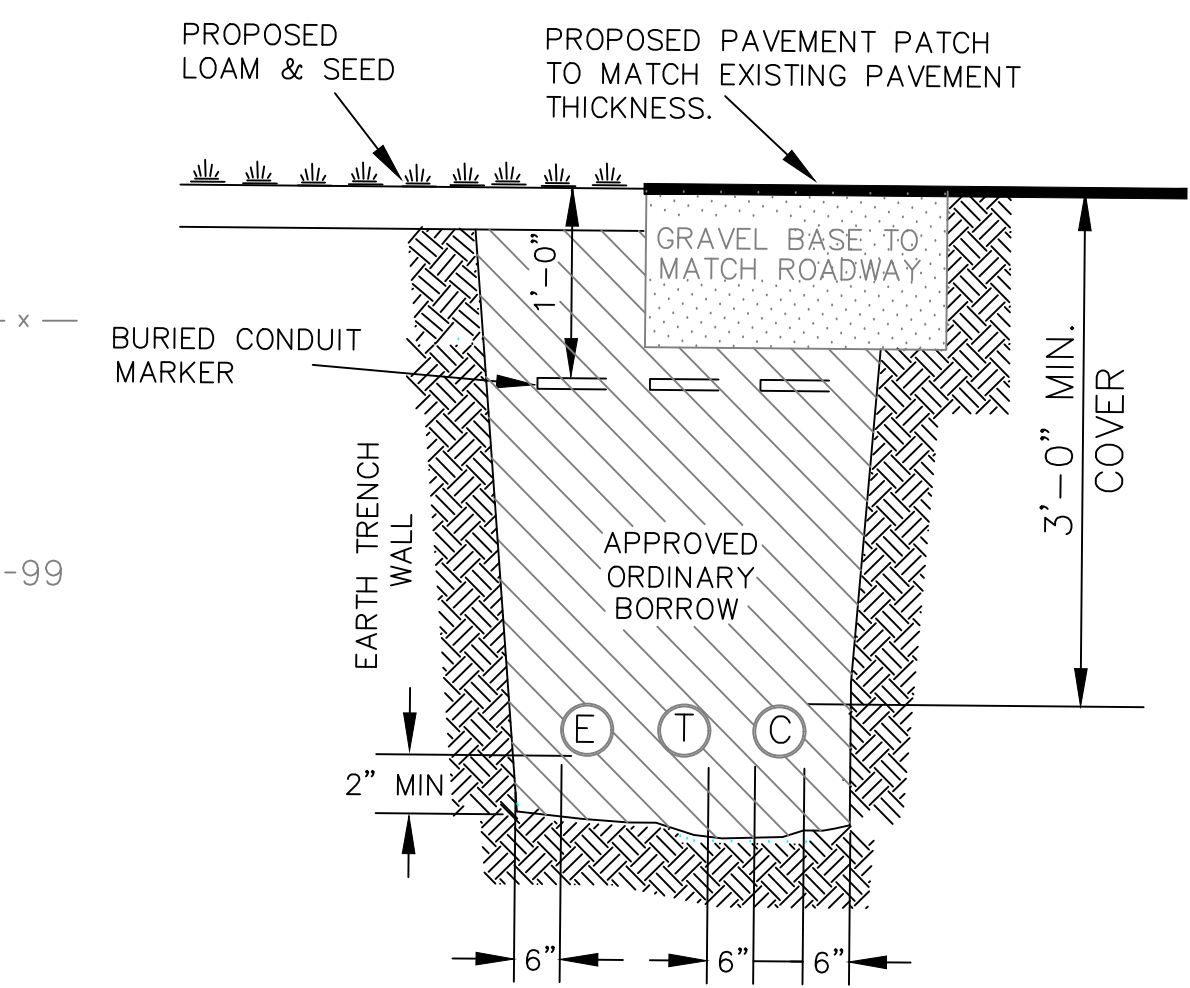
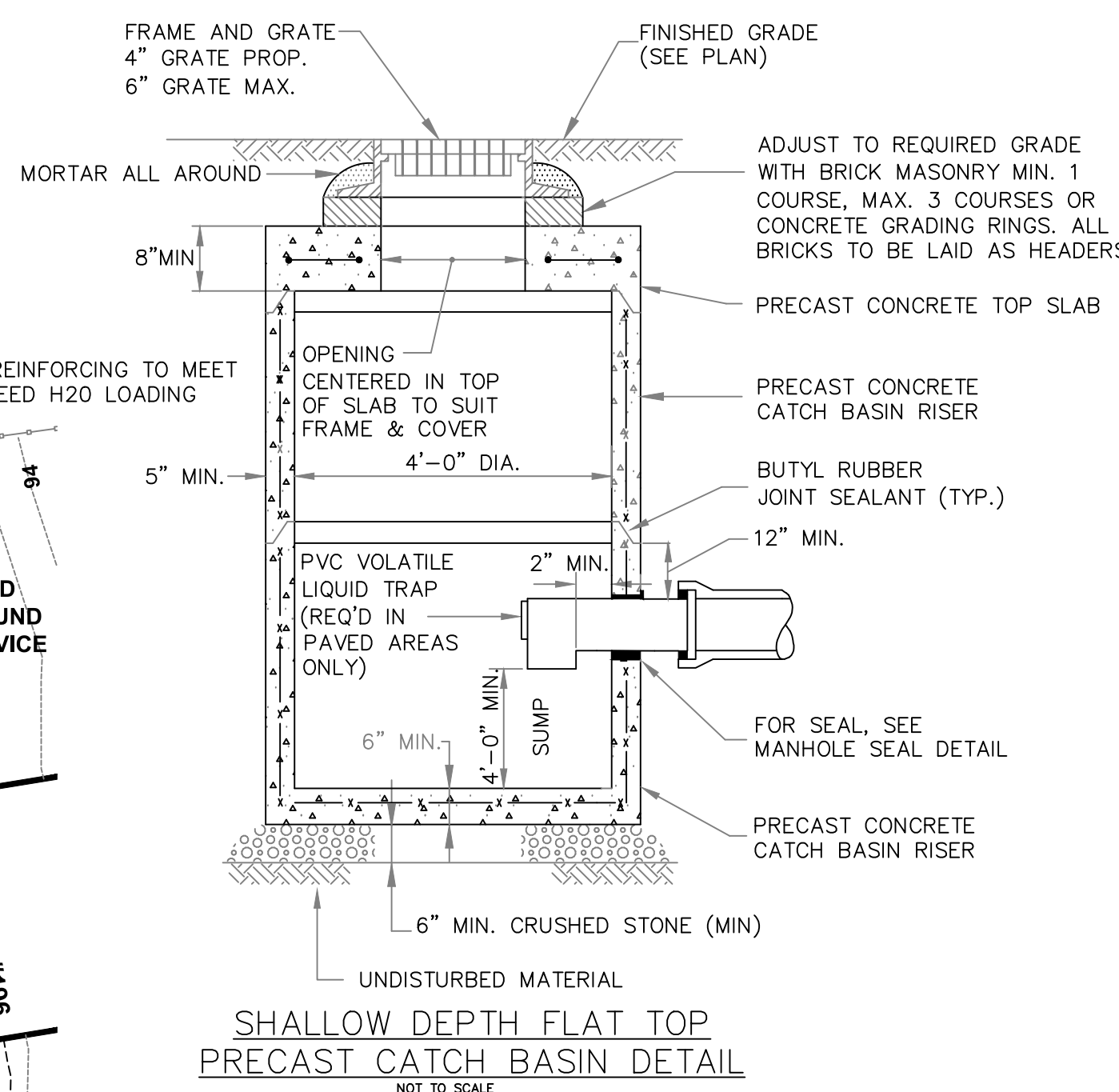
LEGEND:

W WATER — W —
WG WATER GATE — W —
GV GAS GATE — W —
C.B. CATCH BASIN —
C.L.F. CHAIN LINK FENCE — x — x — x —
M.H. MANHOLE —
D.M.H. DRAIN MANHOLE —
S.M.H. SEWER MANHOLE —
U.P. UTILITY POLE —
HYD. HYDRANT —
----- EXIST CONTOUR -----99



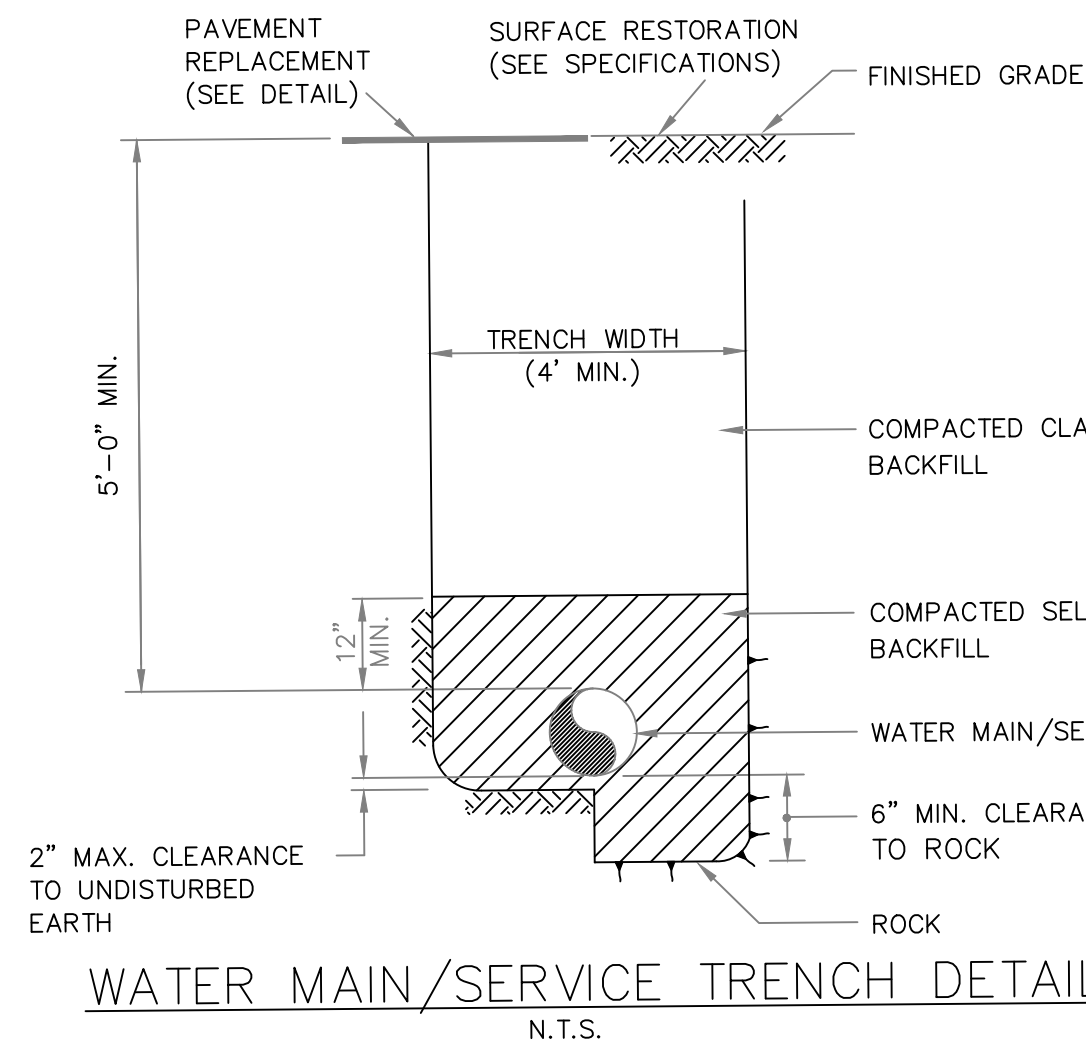
~ MERRILL COURT ~ ~ PROFILE VIEW ~

HOR 1" = 20' VERT 1"=2'



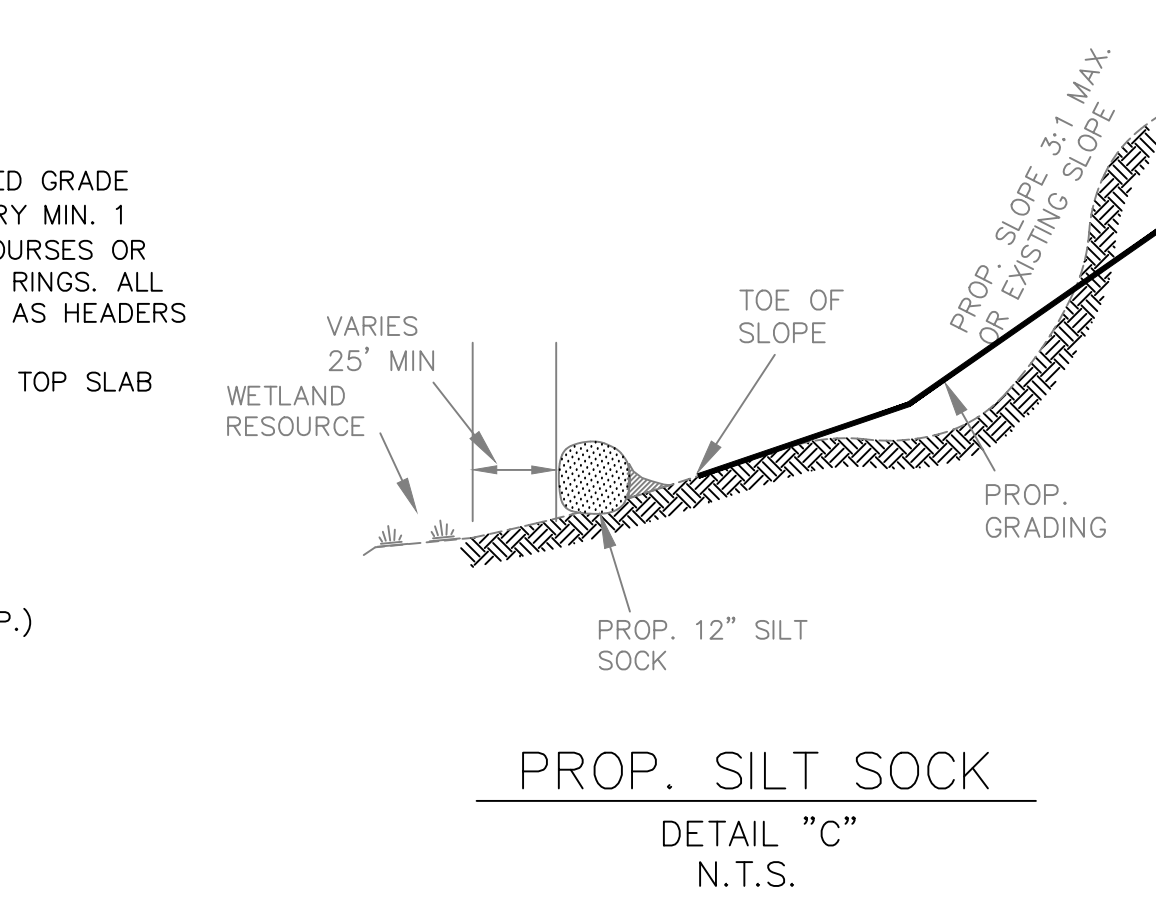
TYPICAL ELECTRIC/TELEPHONE/CABLE TRENCH UNDERGROUND ETC

N.T.S.
TRENCH WIDTH AND DEPTH TO BE IN
ACCORDANCE WITH LOCAL SERVICE
PROVIDERS REQUIREMENTS AS APPLICABLE.



WATER MAIN/SERVICE TRENCH DETAIL

N.T.S.



PROP. SILT SOCK

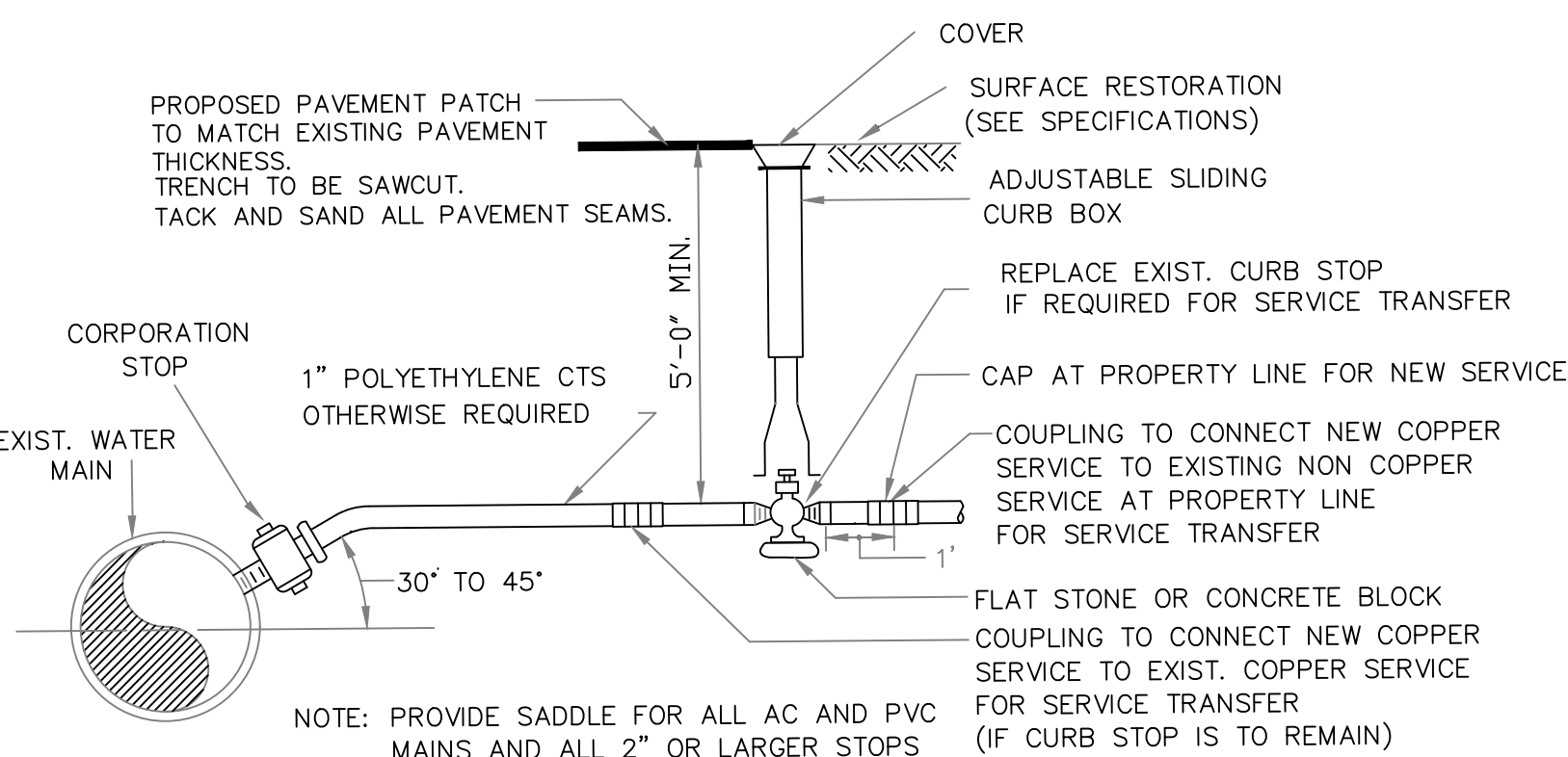
N.T.S.

GENERAL NOTES:

- 1 - ACTUAL FACILITY LOCATIONS TO BE DETERMINED PRIOR TO ANY CONSTRUCTION. DIG SAFE MUST BE NOTIFIED PRIOR TO ANY EXCAVATION. 1-800-322-4844
- 2 - THE PLAN SHOWS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT ON DATE OF TOPOGRAPHY AND THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
- 3 - THESE PLANS AND SPECIFICATIONS ARE INTENDED TO BE EXPLANATORY OF THE WORK TO BE DONE AND OF EACH OTHER, BUT SHOULD ANY OMISSION, ERRORS, OR DISCREPANCIES APPEAR, THEY SHALL BE SUBJECT TO CORRECTION AND INTERPRETATION BY THE DESIGN ENGINEER THEREBY DEFINING AND FULFILLING THE INTENT OF THE PLANS.
- 4 - REVISIONS TO THESE PLANS SHALL BE APPROVED BY THE APPROPRIATE LOCAL & STATE AGENCIES, PRIOR TO CONSTRUCTION.
- 5 - THERE IS NO WORK PROPOSED WITHIN THE WETLAND RESOURCES LOCATED ON OR WITHIN THE 100' BUFFER LOCATED ON THE LOCUS. EROSION CONTROLS WILL BE INSTALLED PRIOR TO CONSTRUCTION.
- 6 - THERE IS NO WORK PROPOSED WITHIN THE 100 YEAR FLOODPLAIN DISTRICT (EL=84') AS SHOWN.

REMOTE RECEPTACLE INSTALL DETAILS FOR USE WITH METER PITS

N.T.S.



WATER SERVICE DETAIL

N.T.S.



THAD D. BERRY PR #41258
7/1/20

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW IS REQUIRED:
TOWN OF GEORGETOWN.
PLANNING BOARD:

DATE:

FOR REGISTRY USE ONLY

FOR PLANNING BOARD USE ONLY

DEFINITIVE SUBDIVISION PLAN MERRILL COURT

LOCATED IN
GEORGETOWN
MASSACHUSETTS

PREPARED FOR

OWNER ~ APPLICANT:
OPM ADVENTURES, LLC
c/o DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833

PREPARED BY
WGH LAND SURVEY
& DESIGN

83 W. MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
EMAIL: BILLGHOLT@AOL.COM

ASSESSOR DATA:
GEORGETOWN: MAP: 6B
PARCEL: 57

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.

WILLIAM G. HOLT
No. 39688
7/1/20
WILLIAM G. HOLT PLS #39688

GRAPHIC SCALE
1 inch = 20 ft.
(IN FEET)
20 0' 10 20 40
(IN METERS)
6 0 6 12

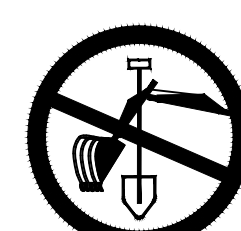
SHEET TITLE: MERRILL COURT ROADWAY PLAN & PROFILE

DRAWN: SEH, WGH
DESIGNED: WGH, TDB
CHECKED: WGH, TDB
DATE: 31 MAR 2019
CAD FILE: WGH/OPM_19/196-WM DEF
JOB No. 19-0013 SVE

LOCUS DEED: BK 37,122 PG 444
PLANS: #629-1947, 327-1965, 802-1961

REVISION :	BY
#1 REVIEW COMMENTS 9/14/19	WGH
#2 REVIEW COMMENTS 10/9/19	WGH
#3 DESIGN CHANGE 03/01/20	WGH
#4 UG UTIL EX HOME 7/1/20	WGH

SHEET No. 5 OF 6



CALL
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1-888-DIG-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

1. HAYBALES AND SILT FENCES: THE STAKED HAYBALES AND SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER AND UPGRADE OF THE BORDERING VEGETATED WETLANDS IN ACCORDANCE WITH THIS PLAN. THE SILTATION BARRIER WILL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. AN ADDITIONAL SUPPLY OF HAYBALES AND SILT FENCE SHALL BE ON-SITE TO REPLACE AND OR REPAIR HAYBALE FENCING THAT IS DISTURBED. PRIOR TO THE COMMENCEMENT OF WORK, THE HAYBALES AND SILT FENCE SHALL BE INSTALLED AND INSPECTED BY THE PLANNING BOARD SUBDIVISION INSPECTOR. ON A WEEKLY BASIS AND AFTER EVERY STORM EVENT, THE CONTRACTOR SHALL VERIFY THAT ALL EROSION CONTROL AND STABILIZING MEASURES ARE STILL IN PLACE AND INTACT. ANY BREAKS IN SILT FENCE AND HAYBALES WILL BE CORRECTED IMMEDIATELY.
2. ALL STOCKPILING OF MATERIALS OR ANY OTHER EXPOSED MATERIALS, OPEN TO THE ELEMENTS SHALL BE STABILIZED.
3. AT THE COMPLETION OF THE PROJECT ALL DISTURBED AREAS ARE TO BE PERMANENTLY LOADED AND SEEDED OR PERMANENTLY STABILIZED WITH OTHER SUITABLE GROUND COVER APPROVED BY THE ENGINEER.
4. STORM DRAIN INLET PROTECTION: A TEMPORARY STORM DRAIN INLET PROTECTIVE SILTATION BARRIER SHALL BE PLACED AROUND ALL CATCH BASIN INLETS. THE PURPOSE OF THE FILTER IS TO NOT ALLOW SEDIMENT INTO THE CLOSED DRAINAGE SYSTEM AND BASINS. THE FILTER SHALL REMAIN IN PLACE UNTIL A PERMANENT VEGETATIVE COVER IS ESTABLISHED AND THE TRANSPORT OF SEDIMENT IS NO LONGER VISIBLY APPARENT DURING A RAINFALL EVENT. THE FILTER SHALL BE MAINTAINED ON A WEEKLY BASIS AND AFTER EVERY STORM EVENT.
5. THE SURFACE OF ALL DISTURBED AREAS SHALL BE STABILIZED DURING AND AFTER CONSTRUCTION TEMPORARY MEASURES SHALL BE TAKEN DURING CONSTRUCTION TO PREVENT EROSION AND SILTATION. TEMPORARY EROSION CONTROL MEASURES SHALL CONFORM WITH THE "MASSACHUSETTS EROSION AND SEDIMENT CONTROL GUIDELINES URBAN AND SUBURBAN AREAS" DATED MARCH 1997, AND SHALL BE APPROVED BY THE ENGINEER. ALL DISTURBED SLOPES WILL BE STABILIZED WITH A PERMANENT VEGETATIVE COVER. ALL 2:1 SLOPES SHALL BE STABILIZED WITH EROSION CONTROL NETTING. SOME OR ALL OF THE FOLLOWING MEASURES WILL BE UTILIZED ON THIS PROJECT:
 - A. TEMPORARY SEEDING
 - B. TEMPORARY MULCHING (STRAW)
 - C. PERMANENT SEEDING
 - D. PLACEMENT OF SOD
 - E. HYDROSEEDING
 - F. PLACEMENT OF HAY (WINTER MONTHS)
 - G. PLACEMENT OF JUTE NETTING (WINTER MONTHS)
6. DUST CONTROL: DUST CONTROL IS NOT ANTICIPATED TO BE A PROBLEM DUE TO THE SMALL SIZE OF THE AREA DISTURBED, AND THE SHORT PERIOD OF EXPOSURE DURING CONSTRUCTION. IF DUST IS GENERATED DURING CONSTRUCTION ACTIVITIES, THEN THE USE OF WATER TRUCKS OR WATER SPRINKLING WILL BE IMPLEMENTED.
7. DEBRIS AND LITTER REMOVAL: ALL DEBRIS AND LITTER SHALL BE REMOVED WHEN NECESSARY.
8. PRIOR TO THE ONSET OF WINTER, SNOW DISPOSAL AREAS SHALL BE IDENTIFIED, MARKED APPROPRIATELY, AND EROSION CONTROL MEASURES SHALL BE INSTALLED AROUND THESE AREAS. APPROVAL OF THE SNOW DISPOSAL AREAS BY THE PLANNING BOARD SUBDIVISION INSPECTOR IS NECESSARY BEFORE ANY SNOW CAN BE CLEARED TO THESE LOCATIONS. DURING THE WINTER MONTHS, THE CONTRACTOR SHALL AVOID MIXING SNOW AN DIRT WHEN CREATING THE DETENTION BASINS. NO SNOW WILL BE PLOWED TO WETLAND AREAS, AND DIRTY SNOW WILL BE STOCKPILED OUTSIDE THE BUFFER ZONE.
9. PLACE HAYBALES & CRUSHED STONE AROUND ALL CATCH BASINS DURING CONSTRUCTION.



REQUIRED MAINTENANCE:

ACTIVITY	FREQUENCY
Remove sediment in forebay at check dams	Annually
Remove sediment from grass channel	Annually
Mow – use of power trimmer allowed	as needed—once/month in growing season
Repair areas of erosion and revegetate	As needed, but no less than once a year

Diagram illustrating the cross-section of a building foundation and culvert chamber assembly, showing various components and elevations.

Components and Labels:

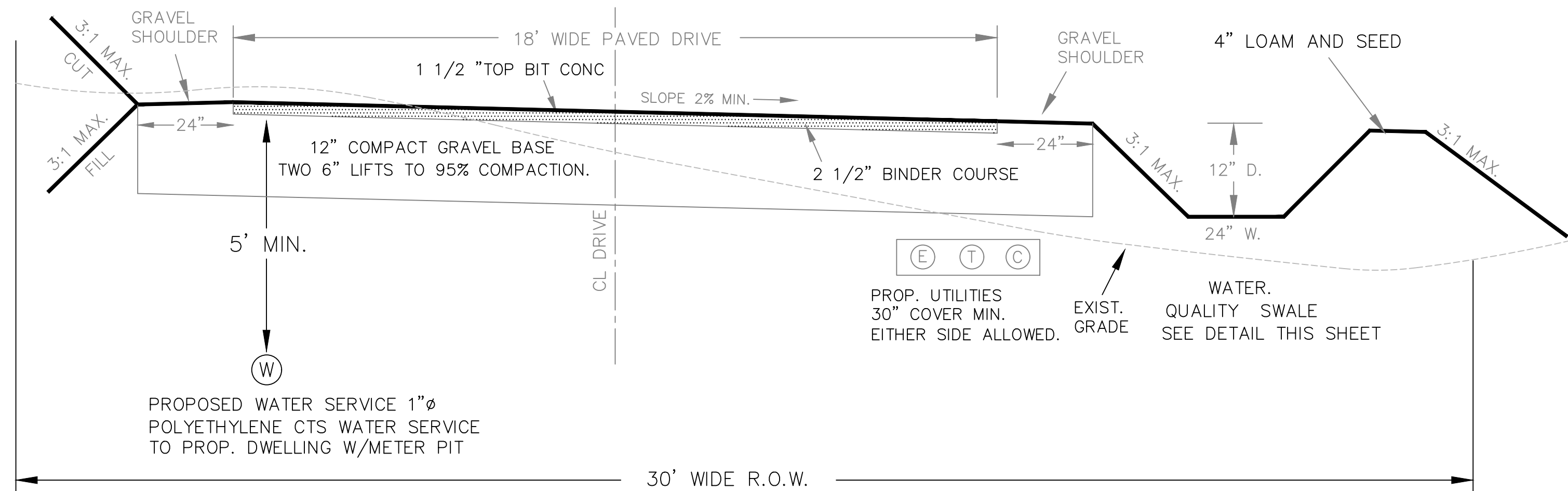
- ROOF LEADER
- 9" MIN. OF APPROVED FILL (NON PAVED AREAS).
- INSPECTION PORTAL COVER MARKED "DRAIN"
- F.G. PAVED 2.5" DEPTH MIN.
- 14" MIN. OF 95% COMPACTED GRAVEL IN (PAVED AREAS)
- 6" TOP STONE 1-2" TO 2" Ø CLEAN WASHED CRUSHED STONE.
- 6" MIP T DR35 with 6" F/A DR35
- 6" PVC SCH40 RISER TO GRADE
- ELEV= VAR
- ELEV= VAR
- MIRAFI NO. 500 FILTER FABRIC TOP (MANDATORY), SIDES AND BOTTOM. (OR EQUAL)
- ELEV=VAR
- 24" MIN.
- 6" BASE STONE 1-2" TO 2" Ø CLEAN WASHED CRUSHED STONE.
- E.S.H.W.T. ELEV = VAR (INTERPOLATED)
- CULTCER CHAMBER MODEL 100
- 4" PVC INV=VAR ELEV=VAR
- 6" INTERNAL COUPLING
- SPLASH PLATE
- OVERFLOW PIPE
- BUILDING FOUNDATION

ROOF RUNOFF
RECHARGE CALCULATIONS:
BUILDING FOOTPRINT AREA = 1536 S.F.
RECHARGE VOL = 1.0" x 1/12 x 1536 S.F.
= 128 C.F.
VOLUME OF CULTEC 100 CHAMBER
= 14.7 Cu. Ft. PER CHAMBER
(PER MUNIFACT. SPECS.)

VOLUME OF VOIDS IN STONE PER CHAMBER
 AROUND CHAMBERS = ((LxWxD) - CHAMBER VOL) x 0.4
 = ((7.5 x 3.83' x 2.00') - 14.7) x 0.4
 = ((57.45) - 14.7) x 0.4
 = (42.75 C F) x 0.4 = 17.1 C F
 TOTAL AVAILABLE STORAGE VOLUME/ CHAMBER
 = 14.7 + 17.1 = 31.8 C.F.
 TOTAL STORAGE AVAILABLE ALL UNITS = 4 x 31.8 = 127.2 C.F. PER HSE.

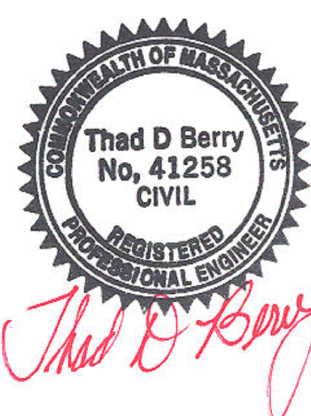


ACTIVITY	FREQUENCY
Inspect basin surface and remove debris	Every 6 months and after every major storm
Remove sediment from top	Every 6 months and after every major storm
Remove top layer 2" pea-stone, inspect top cover filter fabric, replace as necessary replace pea-stone to 2" depth	When filtration is compromised and standing water is evident for extended periods.



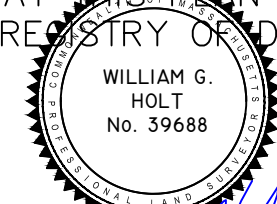
ALL DRIVEWAY APRONS TO BE CONSTRUCTED TO PROPOSED R.O.W. LINE
WITH SAME GRAVEL AND PAVEMENT SPECS AS THE ROADWAY.

A PRIVATE WAY ~ NOT TO SCALE



7/13/20
THAD D. BERRY PE #41258

I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THIS PLAN IS ACCURATE. I FURTHER CERTIFY THAT THE LAND AREA AND FRONTAGE SHOWN FOR THE LOTS UNDER APPLICATION ARE IN CONFORMANCE OR ARE EXEMPT FROM ENFORCEMENT, WITH THE ZONE FOR WHICH THE LAND IS SITUATED AND THAT THE PLAN IS IN COMPLIANCE WITH THE GEORGETOWN REGULATIONS GOVERNING SUBDIVISION OF LAND, EXCEPT FOR REQUESTED WAIVERS 1 THROUGH 7 ON SHEET 1. I FURTHER CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REALTY OF DEEDS.



WILLIAM G. HOLT, PLS #39688



CALL
TOLL FREE
1-888-DIG-SAFE
(1-888-344-7233)

72 HOURS IN ADVANCE

DATE: _____

FOR REGISTRY USE ONLY

FOR PLANNING BOARD USE ONLY

LOCATED IN
GEORGETOWN
MASSACHUSETTS
PREPARED FOR

OWNER ~ APPLICANT:
OPM ADVENTURES,LLC
c/o DAVID HENRY
56 WEST STREET
GEORGETOWN, MA 01833

PREPARED BY
**WGH LAND SURVEY
& DESIGN**

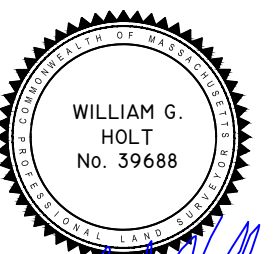


83 W. MAIN STREET
MERRIMAC, MA 01860
TEL: (978) 346-7873
EMAIL: BILLGHOLT@AOL.COM

ASSESSOR DATA:

GEORGETOWN:MAP: 6B
PARCEL: 57

I HEREBY CERTIFY THAT THIS
PLAN CONFORMS TO THE RULES
AND REGULATIONS OF THE
REGISTRY OF DEEDS.



William Hall 3/3/20

WILLIAM G. HOLT PLS #39688

GRAPHIC SCALE

$$1 \text{ inch} = 20 \text{ ft.}$$

(IN FEET)

0' 10 20

0 6

(IN METERS)

SHEET TITLE:

**CONSTRUCTION DETAILS
& EROSION CONTROL NOTES
MERRIL COURT**

DRAWN:	SEH, WGH
DESIGNED:	WGH,TDB
CHECKED:	WGH,TDB
DATE:	31 MAR 2019
CAD FILE:	WGH/OPM_19/196-WM DE
JOB No.	19-0013 SVE

LOCUS DEED: BK 37,122 PG 444
PLANS: #629-1947,327-1965,802-196

REVISION :	BY
#1 REVIEW COMMENTS 9/14/19	WGH
#2 REVIEW COMMENTS 10/9/19	WGH
#3 DESIGN CHANGES 3/2/20	WGH
#4 ADD TRENCH DET 7/13/20	WGH

SHEET No. **6 of 6**